

Naches Ranger District Recreation Residence Operations and Maintenance Plan



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Naches Ranger District

Recreation Residence Operations & Maintenance Plan

Revised January 2025

Policy

Authorized Officers shall use these standards and guidelines to administer Recreation Residence permits and evaluate proposals for modifications of permitted improvements. The construction, reconstruction, and maintenance standards define the appearance and structure that represent the recreation cabin experience in the northwest forest environment. It is recognized that many cabins now exceed or deviate from these standards. Existing improvements that exceed these standards, unless otherwise directed here, can currently remain. As opportunities develop during replacement, maintenance, and change of ownership, improvements shall be brought into compliance with these standards.

Recreation Residence Program Objectives:

- Provide non-commercial recreation opportunities for cabin owners, their families, and guests.
- Work in partnership with permit holders to maximize recreation benefits to the forests.
- Be consistent with the Northwest Forest Plan. Integrate administration and use of Recreation Residences with other resource programs.
- Retain the natural environment.
- Minimize alteration of the landform. Keep developments as unobtrusive as possible.
- Provide for the safety of the permit holder and the public.

STANDARDS AND GUIDELINES

Part I: General Construction Standards for All Improvements

Cabins and structures located on Federally owned land are permitted and administered under Special Use Permits. Federal laws and policies dictate Federal land use. The Forest Service has authority under 16 USC 551 and 16 USC 559 to enforce the Code of Federal Regulations (CFR), in particular, 36 CFR 251.50-65, regarding violations of any term or condition of a special use authorization. Approval of activities on federal lands follows a distinct process not usually required of private landowners with structures on their own land. Projects, especially those requiring ground and/or vegetation disturbance, will require a Specialist review and written approval from the Ranger prior to beginning.

1. All exterior building repairs, new construction, ground disturbance (including spreading gravel), and demolition work must be coordinated with the District office, have written approval, and all applicable County permits prior to beginning. Project Proposal forms are available online and at the Ranger District office. Except for routine maintenance or repair in-kind, heritage and environmental evaluations may be necessary.
The Authorized Officer may require any projects completed without approval to be removed.
2. Proposals are processed in the order they are received. Due to staffing limitations, proposals requiring Specialist review will take at least a year or longer. It is highly recommended that permit holders include processing time in their plans and submit their proposals as far in advance as possible. If there is any doubt about proposal or approval requirements, you should contact the Naches Special Uses Staff for clarification.
3. County and State building codes must be followed, and County permits must be obtained when required. The County may require proof of Forest Service approval prior to issuance of permits as the Forest Service retains the final authority to approve projects.
4. Projects must begin within 1 year of the date of approval. A period of two years is allowed for the completion of approved projects. If work does not begin within the first year or is not completed within the ensuing two-year period, the approval is void. The plan may be resubmitted, but approval will be subject to review under policies and guidelines in place at that time.
5. New construction or reconstruction must be located within the permitted lot boundary. If there is a question of the lot line locations, lot boundaries may be surveyed and reestablished. Due to staffing limitations, it is recommended that the Permit Holder hire a Forest Service approved licensed surveyor.

6. The minimum setback (location of structures from edge of permitted site) from lot line boundaries is 5 feet. The Authorized Officer may require greater setbacks depending on environmental factors.
7. All additions, modifications and improvements must match the original buildings as much as practical and blend with the surrounding environment. This includes siding, windows, doors, roofing, and general architectural style, especially if the building is found to have historical significance.
8. Metal buildings will not be approved for use. This includes storage structures or other ancillary buildings. Structures of this nature shall be removed by the Permit Holder at the first opportunity. Connex boxes should not be utilized, unless approved for *short-term* storage, and must be removed promptly.
9. Mobile homes or modular structures will not be approved for use to replace an existing damaged or destroyed cabin.
10. Exterior building colors should harmonize with the surrounding environment. Darker greens, browns and subdued greys are acceptable. Bright colors, such as white, red, blue, yellow..., should not be used. Buildings should be painted one color with appropriate trim. All colors must be approved in advance by the Authorized Officer. *If changes are made without prior approval, the Permit Holder may be required to repaint to an approved color.*
11. Roofs shall be designed to support the roofing materials and local snow load. The entire roof shall be one approved material, (Appendix B). As with paint colors, roof colors should be darker tones, with preferred colors in greens, browns, or grays; color choice should harmonize with the color of the building. Approval is required prior to any changes to existing roofing.
12. When feasible, all water, power, or other utility transmission lines shall be buried. Where practical, water systems, including wells, shall be incorporated into building design, and screened from view. All projects require prior approval from the Forest Service.
13. Wells may be approved but require extensive specialist review. Factors like water rights, locations of other utilities, heritage findings, and sensitive areas may limit proposal approval. This type of project requires state/county permitting.
14. Septic systems and drain fields may be approved; however, setback requirements from wells, water sources, riparian areas, critical habitats, and other sensitive areas may be a limiting factor. A specialist review will be required for any new installation proposals. This type of project requires state/county permitting.

15. Where practical, propane tanks shall be incorporated into building design or screened from view. The location and shielding of these tanks and fuel lines shall be in accordance with State and other agency regulations. Tank colors should blend with the natural environment. Be sure to check with County and State requirements when submitting a proposal for a new/updated tank to ensure that the proposal accounts for those requirements.

Part II: Standards for Cabins

1. No more than one cabin shall be present on the lot.
2. The maximum size allowable for cabins is 1,200 square feet (measured on the outside of the foundation). Loft size is not included in the total square footage of the building, nor is an open deck or porch. Lofts should be two thirds or less of the ground floor square footage, and open without intervening partitions or bathroom. If an enclosed porch is attached to the cabin, it must be included in total square footage of the cabin.
3. Cabins should be no taller than one story including a loft above ground level, approximately 26 feet from ground to the roof peak. A full second story is not permissible. No basements are allowed. Crawlspace and below deck areas may not be enclosed or converted to living spaces
4. Decks (*unroofed structures, generally raised above ground level*) will not be more than 400 square feet in total and designed for local snow load. Paint/stain color must be approved in advance and the finish must be maintained.
5. Porches (*roofed structures*), and patios (*un-roofed*) are generally *not* raised above ground level and will be limited to 25 percent of the total square footage of the building (i.e. a 1200sqft cabin may have up to a 300sqft porch/patio). Porches and patios should not be enclosed without prior approval. Enclosed porches are considered part of the cabin's total square footage.
6. Additional Decks/Porches/Patios may be approved limited to the remaining allowable square footage for the structure type.

Part III: Standards for Guest Cabins

1. Conversion of storage or other outbuildings to sleeping quarters or guest cabins is not permitted. Unapproved conversion of outbuildings will be required to be reverted.
2. Construction of additional guest cabins or sleeping quarters is not permitted. Sleeping/guest cabins constructed without prior written approval will be required to be removed. In those cases where a guest cabin currently exists, it will be allowed to remain until such a time where removal is feasible., i.e. damage or destruction of the structure,

upon transfer of ownership of improvements outside of the family. Exceptions may be made for the preservation of National Register eligible historic sleeping cabin features on a summer home lot at the discretion of the Authorized Officer.

Part IV: Standards for Outbuildings

1. Only one storage building, and one outside toilet structure are allowed. Additional buildings should be phased out as opportunity allows. Opportunities that will provide for removal of excess structures are: (1) change of ownership; (2) expiration of the permit; (3) a request for new construction; or (4) destruction or deterioration of the structure.
2. Approved storage buildings should be low-profile, one-story structures, no more than 130 square feet measured on the exterior of the foundation. The structure will be no more than 12 feet high from ground level to the peak of the structure.
3. An outhouse or outdoor toilet, up to 40 square feet (measured on the exterior foundation), may be permitted. The outhouse is to be a low-profile, one-story structure. Toilet buildings no longer in use shall be removed by the permit holder and the site properly rehabilitated.
4. The total combined square footage allowed for outbuildings cannot exceed 130 square feet in total. Additional structures such as well houses and *open* woodsheds may be approved if the existing structures do not currently meet or exceed the maximum allowable square footage.

Part V: Maintenance Standards and Miscellaneous Improvements

1. Cabins are limited to one (1) "rustic-style" sign, not including the cabin number. Any additional signage must be pre-approved and conform to Forest signage standards.
2. *Nothing* can be attached to the trees, except for the temporary flagging used to mark hazard trees. This includes all ropes, chains, wires, nails, screws, and other means of fastening. No signs, swings, decorations, game cameras, etc. should be attached to trees.
3. Yard lights should be mounted on buildings or approved posts/poles. Any electrical lines should be buried. Motion activated sensors are allowed but must be turned off when the cabin is not in use. No "dusk to dawn" type lighting, i.e. lights that activate automatically in darkness, is allowed.
4. Fences will not be permitted unless specifically included in management objectives for each recreation residence tract.

5. Existing gates and locking features must meet Forest Service specifications. No *new* gates will be approved by the Authorized Officer. Chain and cable gates are not permitted. Existing gates must accommodate a Forest Service lock to allow access for inspections and emergency access. Forest Service locks can be acquired from the District Office.
6. Single, small, non-permanent satellite dishes may be approved at the Authorized Officer's discretion. Dishes must be mounted to existing structures or on movable bases, ***they cannot be mounted to trees***. The Authorized Officer can require removal of existing dishes upon transfer or reissuance of a permit. Permit holders will be required to remove satellite dishes that have not been approved. Satellite Dishes that are no longer in use should be removed at the earliest opportunity.
7. Whip antennas and wire antenna arrangements may be permitted when their appearance is inconspicuous. Large, visible installations must be modified or removed upon transfer of the permit or when they require major maintenance. Antennas should be located on outbuildings or the residence. One antenna may be allowed per dwelling. *Antennas that are no longer in use should be removed at the earliest opportunity.*
8. Fire rings, normally of a temporary nature, may be permitted at the discretion of the Authorized Officer. No new, permanent, outdoor fireplaces shall be approved. Existing, permanent, outdoor fireplaces will be removed when they fall into disrepair or upon transfer of the permit. Exceptions may be made for the preservation of unique historic fireplace features on a summer home lot at the discretion of the Authorized Officer.
9. Saunas may be approved but must be installed in the dwelling or in the existing outbuilding. An additional structure to serve this purpose will not be approved.
10. Non-conspicuous hot tubs may be approved within the residence or on the cabin's porch or deck. All electrical and plumbing lines must be hidden from view. Any new requests must include drainage proposals that meet acceptable health and resource protection standards.
11. Sheet plastic or tarps will not be used on any buildings for walls, roofing, screening, or protection from the elements. Seasonal clear plastic storm windows are acceptable.
12. Maintenance of tract roads and driveways is the responsibility of the permit holders being served by the road. Widening of roads, driveways, parking areas or other alteration of roadbed requires prior approval from the Authorized Officer. Gravel and other material used for surfacing must be certified to be Weed Free. Do not block or otherwise restrict the roadways.
13. Lawns or non-native ornamental plantings are not permitted. The lot's natural appearance shall be maintained, as much as possible. Any existing lawns and non-native plantings shall be removed at the earliest opportunity. The Naches Ranger District can

provide information on native plants that would be appropriate for planting around recreation residences.

14. Pesticides and herbicides will not be used to control nuisances without prior written approval from the Authorized Officer. Use of these products can cause the unintentional poisoning of other plants, fish, and wildlife.
15. Hunting of any kind is not permitted within cabin tracts. Per Federal law, *discharging of firearms or other implements capable of taking human life, causing injury or damaging property in or within 150 yards from a residence, building, campsite, developed recreation area, or occupied area, across or on a National Forest or Grassland, Road or Body of Water* (36 CFR 261.9, 261.10(d)).
16. Saltlicks, bird, and other animal feeders are not permitted within cabin tracts. As of September 2024, Forest Order #06-17-00-24-01 was issued relating to Safe Storage, Possession, and Handling of Food and Refuse. Per this order, *No person shall provide food of any kind to any wildlife species*. A copy of this Forest Order can be obtained from the District Office.
17. Garbage containers must be animal-proof. Garbage must be removed from the lot and taken to an approved transfer site or home for disposal. Do not leave garbage at the lot when the recreation residence is not being used. *It is illegal to dispose of garbage in campgrounds or other Forest Service managed sites*.
18. The permit holder is responsible for identifying and treating hazard trees on their lot. No trees can be cut or limbed without prior written approval from the District Ranger. Hazard tree requests forms, along with treatment guidelines, are available online or at the Naches Ranger District office.
19. No more than two cords of firewood can be stored outside of a woodshed or storage building. One cord is 4' x 4' x 8'. Woodpiles should be neatly stacked and may be covered by earth tone tarps (green or brown). Collection of firewood on Forest Service lands must occur with a fire/fuel wood permit and only in designated areas during designated seasons. Firewood permits can be obtained from the Naches District Office.
20. Lots are to be kept free of trash and debris; nothing is to be stored in the open when the cabin is not in use. All easily moved items such as lawn furniture, wheelbarrows, tools, toys, etc. are to be stored out of sight inside the residence or outbuilding when the residence is not in use.
21. Playground equipment (swings, slides, etc.) must be approved before it is installed. Playground type structures must be freestanding and blend in with the forest setting. Swings are not permitted to be hung from or attached to trees.

22. Decorative yard items such as plastic flowers, plastic animals, signs, figurines, or lawn ornaments are not approved and must be removed.

Part VI: Occupancy Standards

1. Recreation Residences are permitted for the non-commercial, recreational use of the permit holder, their family, and guests. *Recreation residences are not permitted as a primary, long term, or full-time residence. See Permit Clause III B.* Due to the large number of cabins on the District, any requests to utilize cabins as Vacation Rentals or otherwise rent out cabins will not be approved. Those found on Vacation Rental sites will be notified to remove the listing.
2. No animals, other than common household pets, may be kept on the premises. Pets may not be left unattended or unsecured/unleased. For their safety, any domestic animal found unattended or unsecured will be reported to Animal Control. No permanent pet enclosures shall be allowed. Pet leads/tie outs cannot be attached to trees. Any pet food containers must be kept within your cabin or in approved storage containers per Forest Order 06-17-00-24-01.
3. Tents, canopies, and recreational vehicles may be used to expand the capacity of a residence on a *short-term* basis, defined as 2 weeks. Please contact the Naches Ranger District for information on the availability of group recreation sites for larger gatherings.
4. Vehicles, Recreational Vehicles (4x4's, RV's, Campers...), and Trailers not currently in use cannot be stored on the lot, must have valid tags, and be in working order. All vehicles must be kept on the existing driveways and parking areas. Equipment used for seasonal snow removal is not to be stored within the cabin tract without written approval by the District Ranger.
5. Tracked machinery can contribute to ground disturbance and resource damage. The use of tracked machinery/equipment, unless part of a previously approved project, is not allowed off roads within the cabin tracts.

Part VII: Site Monitoring

Formal site monitoring is conducted periodically by District Staff to ensure that there are no areas of concern within the cabin tracts. Tracts and cabin owners will be notified of any issues that are noted as a part of this process.

Annual self-inspections are to be completed annually and returned to the Naches Ranger District by July 1 each year. The inspection form is available at the District Office or online. If the

permit holder indicates hazard trees or proposed projects on their Annual Self Inspection, they should also complete and submit a Hazard Tree and/or Project Proposal Form.

Part VIII: Safety and Fire

1. All roofs shall be kept reasonably clear of debris. All chimneys should be equipped with a Spark Arrester (1/2" screening).
2. For some periods during most summers, open fires are prohibited within the National Forest due to wildfire danger. These campfire closures can include recreation residence tracts. It is the permit holder's responsibility to remain informed about such closures. Check with the Ranger Station for the current fire restrictions.
3. Use of Power equipment including, but not limited to, chainsaws, power tools and generators is generally discouraged. When this type of equipment must be used it is to be used during daylight hours only and in a manner that does not impact other users of the National Forest. All power equipment must have an approved and properly installed spark arrester and is subject to all applicable Industrial Fire Precaution Level (IFPL) restrictions for use of such equipment. Fire related equipment restriction information may be obtained by calling the Ranger District.
4. Burning outside of fire rings, i.e. slash piles, is not allowed. Permit holders may burn within an established fire ring, but the fire must be of a manageable size and well supervised. Burning in an established campfire ring is only allowed when burn bans and fire restrictions are not in effect. No other burning is permitted on Forest Service Lands.
5. Fire Safety and prevention is the permit holder's responsibility. The permit holder can be held liable for costs associated with fire suppression activities. General fire prevention guidelines are:
 - a. Branches/limbs should be cleared to 15 feet from chimneys.
 - b. Dead bushes, leaves and other debris should be removed from within 30 feet from structures.
 - c. There should be adequate clearance from powerlines. Please contact your power provider (Benton REA or Pacific Power) for concerns relating to powerlines and encroaching vegetation.

Proposal Reviews

Proposals will be reviewed in the order they are received. The length of the review process is dependent on the scope/complexity of the proposal, additional identified evaluation requirements (listed below), and staff availability. You will be given additional information if the project needs further evaluations or to be modified.

Archeological/Heritage Assessments and Survey

All activities at your cabin that involve subsurface soil disturbance (i.e. digging, trenching, scraping, grading or drilling), or the modification of an existing structure must have heritage surveys completed and approved prior to implementation. Your project can be added to the district's work list and accomplished in the order received or you may also hire a Forest Service approved contractor to conduct the required survey. A list of approved heritage contractors can be provided if requested. Depending on the complexity of the project you may be required to fund the cost of the Forest Service analysis process (Cost Recovery).

Environmental Assessments and Survey

Projects that present a potential impact to habitat and/or wildlife may need an environmental or biological assessment. Assessments can be accomplished as described in the Archeological/Heritage Survey section.

If you would like more information on these Surveys, please contact our office.

State/County Permitting

Your project will need to meet County/State Code and other requirements. If your project does not require a permit, you can request a "Parcel Tag" that documents you have reviewed the project with them and the project does not need a permit. In some cases, the County will not issue a permit until you have received written approval from the Forest Service.

Timeframes For Work


If your project is approved, you will receive an Approval Letter signed by the District Ranger that details the timelines, restrictions, and requirements for the project. Do not begin work before you receive written approval. If delays occur and project cannot be completed within established timeframe, please work with the Ranger District to get an extension.

APPENDIX B

STANDARDS FOR ROOF REPLACEMENT ON NATIONAL REGISTER ELIGIBLE RECREATION RESIDENCE AND ORGANIZATION CAMP/CLUB BUILDINGS

HOW TO USE THIS APPENDIX

This Appendix B applies exclusively to materials used for simple roof repairs and replacements. If any additional changes to the roof, roof sub-structure, pitch and orientation, covering exposed rafter tails and/or addition of insulation, skylights, dormers or other features are proposed at the same time, this will require review on a case by case basis.

Recommended		1. Wood Shakes and Shingles	NO ADVERSE EFFECT	
Acceptable Depending on Details		2. Replacement In-Kind		
		3. Standing Seam Metal (without ribs)		
		4. Simulated Wood Shakes		
Requires Mitigation		5. Three Tab Shingles (little color variation)		ADVERSE EFFECT
		6. Corrugated Metal Roof Panels		
		7. Standing Seam Metal (with intermediate Dutch seams)		
			8. Three Tab Shingles (significant color variation)	
			9. Architectural Shingles	
			10. Standing Seam and Corrugated Metal (with Ribs)	

1. Wood Shakes and Shingles

NO ADVERSE EFFECT *Recommended*



Most Recommended Treatment: Wood Shakes and Shingles

- ✓ Repair existing wood shingles in situ
- ✓ Replace existing wood shingles in-kind (match original size, material, color, texture)
- ✓ Replace existing wood shingles with treated, fire-resistant wood shingles
- ✓ Restore roof to original or historic appearance using wood shingles
- ✓ Material was historically available

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STANDARDS FOR ROOF REPLACEMENT ON NATIONAL REGISTER ELIGIBLE RECREATION RESIDENCE AND ORGANIZATION CAMP/CLUB BUILDINGS

2. Replacement In-Kind

NO ADVERSE EFFECT *Recommended*

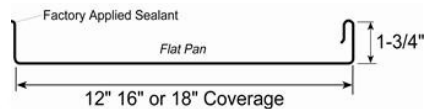


Recommended Treatment: Replacement in-kind

- ✓ Replace existing material with exact same material
- ✓ Properties of replacement material are nearly identical: shape, texture, color, etc.
- ✓ Replacement in-kind can be non-historic material if it's already present

3. Standing Seam Metal (without ribs)

NO ADVERSE EFFECT *Recommended*



Recommended Treatment: Standing Seam Metal (without ribs)

- ✓ Replace historic roofing material if beyond repair
- ✓ Standing seam metal panels should be properly transported and installed to prevent oil canning
- ✓ Color should be earth-tones with no variation - should be matte finish
- ✓ Standing seam metal without ribs is preferred over panels with Dutch seams (Section 7)
- ✓ See Section 10 for examples of metal roofing that would have an adverse effect
- ✓ Material was probably not original, but still historically available

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STANDARDS FOR ROOF REPLACEMENT ON NATIONAL REGISTER ELIGIBLE RECREATION RESIDENCE AND ORGANIZATION CAMP/CLUB BUILDINGS

4. Simulated Wood Shakes

NO ADVERSE EFFECT *Acceptable depending on details*



General Guidelines: Simulated wood shakes

- ✓ Materials that simulate an authentic material are not recommended (metal, composite, cementitious)
- ✓ Simulated wood shakes are often too shiny, have faux-grain, are too uniform in size, or are too thin (left, above)
- ✓ Gaps between panels (middle, above) do not properly replicate original material dimensions
- ✓ Rubberized products often do a better job at matching the visual appearance of wood shakes (right, above)
- ✓ Material was not historically available

5. Three Tab Shingles (little color variation)

NO ADVERSE EFFECT *Acceptable depending on details*



General Guidelines: Three Tab Shingles (little color variation)

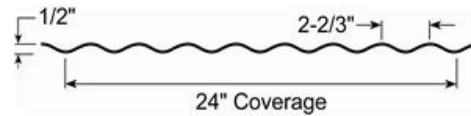
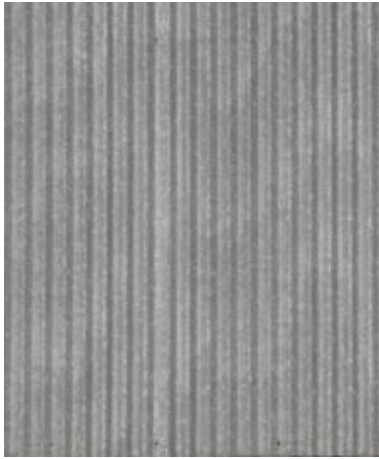
- ✓ Replace historic roofing material if beyond repair
- ✓ Three tab shingles should have little variation in color
- ✓ Color should be relatively uniform and earth-tones with minor variation
- ✓ See below for examples of three tab shingles that would have an adverse effect
- ✓ Material was probably not original, but still historically available

APPENDIX B

STANDARDS FOR ROOF REPLACEMENT ON NATIONAL REGISTER ELIGIBLE RECREATION RESIDENCE AND ORGANIZATION CAMP/CLUB BUILDINGS

6. Corrugated Metal Roof Panels

NO ADVERSE EFFECT Acceptable depending on details

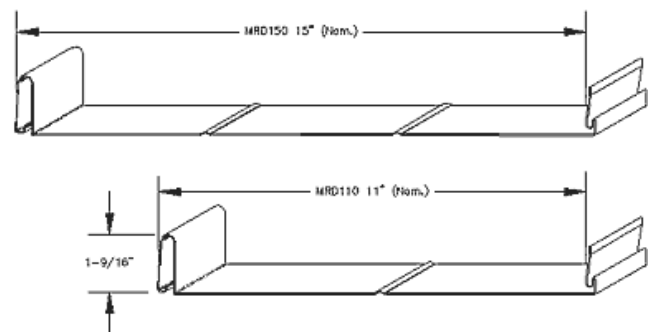


General Guidelines: Corrugated Metal Roof Panels

- ✓ Replace historic roofing material if beyond repair
- ✓ Color should be earth-tones with no variation - should be matte finish
- ✓ Corrugated metal panels should be simple and rounded as shown above
- ✓ See Section 10 for examples of corrugated metal roofing that would have an adverse effect
- ✓ Material was probably not original, but still historically available

7. Standing Seam Metal (with intermediate Dutch seams)

NO ADVERSE EFFECT Acceptable depending on details



General Guidelines: Standing Seam Metal (with intermediate Dutch seams)

- ✓ Replace historic roofing material if beyond repair
- ✓ Standing seam metal panels should be properly installed to prevent oil canning
- ✓ Color should be earth-tones with no variation - should be matte finish
- ✓ See Section 10 for examples of metal roofing that would have an adverse effect
- ✓ Material was probably not original, but still historically available

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STANDARDS FOR ROOF REPLACEMENT ON NATIONAL REGISTER ELIGIBLE RECREATION RESIDENCE AND ORGANIZATION CAMP/CLUB BUILDINGS

8. Three Tab Shingles (significant color variation)

ADVERSE EFFECT *Requires Mitigation*



Not Recommended Treatment: Three Tab Shingles (significant color variation)

- ✓ (Left, above): Significant color variation is not recommended
- ✓ (Middle, above): Color is too bright, not earth-tone, and variation is significant
- ✓ (Right, above): Color is earth-tone, but variation is significant
- ✓ Material with significant color variation was likely not historically available

9. Architectural Shingles

ADVERSE EFFECT *Requires Mitigation*



Not Recommended Treatment: Architectural Shingles

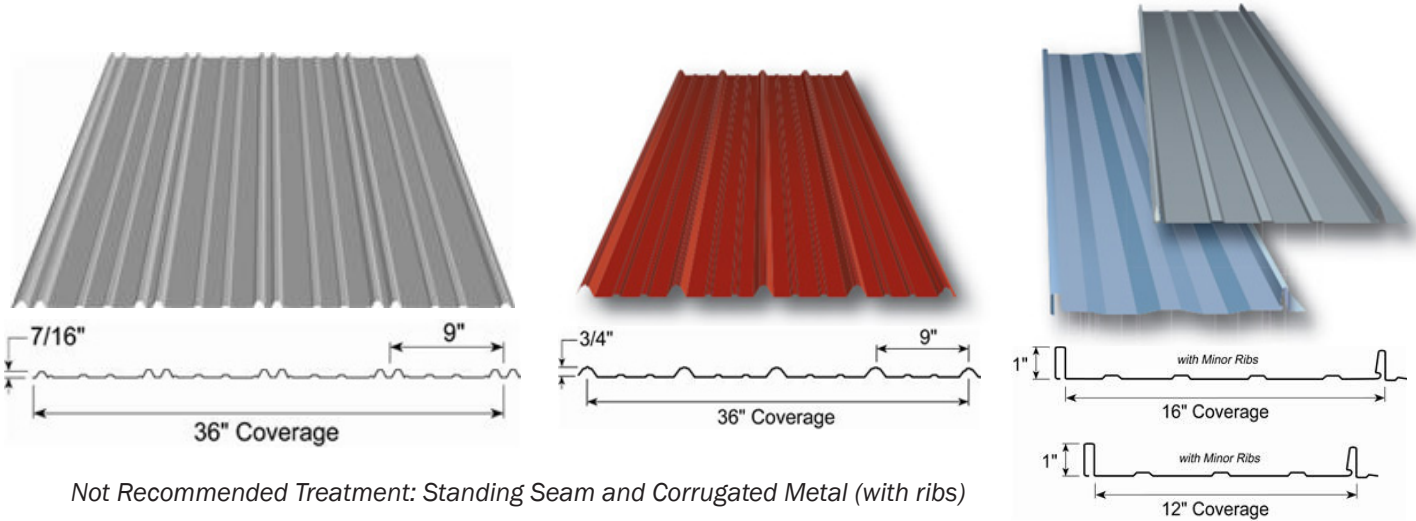
- ✓ Color should not have significant variation
- ✓ Simulated depth leaves shingles looking two-dimensional and is not recommended
- ✓ Shape of shingles should be relatively rectangular with 90 degree corners, not rounded or trapezoidal, and should not look like a puzzle
- ✓ Material was probably not original, but still historically available

APPENDIX B

STANDARDS FOR ROOF REPLACEMENT ON NATIONAL REGISTER ELIGIBLE
RECREATION RESIDENCE AND ORGANIZATION CAMP/CLUB BUILDINGS

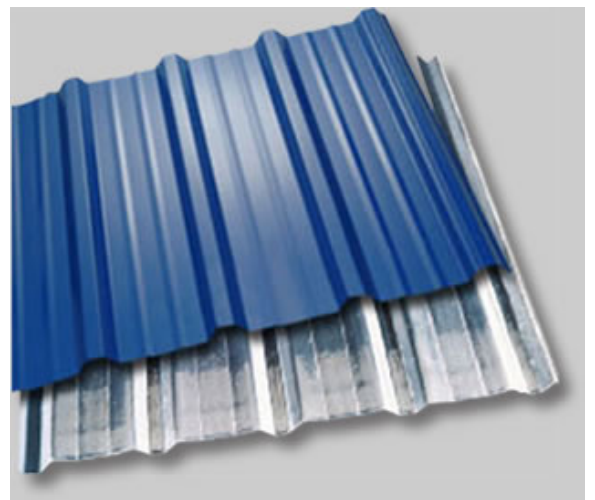
10. Standing Seam and Corrugated Metal (with ribs)

ADVERSE EFFECT *Requires Mitigation*



Not Recommended Treatment: Standing Seam and Corrugated Metal (with ribs)

- ✓ Panels should not have intermediate ribs
- ✓ Color should be earth-tone and brightness should be limited – should have matte finish
- ✓ Only dutch seams should be used (see Section 7)
- ✓ Standing seams should be simple and rectangular (see Section 3)
- ✓ Metal roofing shall be properly installed; not be installed over existing roofing
- ✓ Corrugated metal panels shall not have flat surfaces or intermediate ribs (see Section 6)
- ✓ All roofing installations shall be reversible
- ✓ Standing seam and corrugated panels with ribs were likely not historically available



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RECREATION RESIDENCE SELF-INSPECTION REPORT

NACHES RANGER DISTRICT
 ATTN:SPECIAL USES
 10237 US HIGHWAY 12
 NACHES, WASHINGTON 98937

PART I - TERMS AND CONDITIONS

Permit Holder/Primary & Mailing Address/Telephone		Tract:
IS THIS A NEW ADDRESS? Yes No		Lot #:
Yes No	1. Have you built or modified your structures during the past year without a current written approval letter? (Clause III-A and II-B) If yes, explain.	
Yes No	2. Do you plan to construct or modify structures on the lot during the next year but do not have a formal proposal submitted or approval letter in hand? (Clause II-B) If yes, explain.	
Yes No	3. Do your structures meet state and local regulations and have you had an annual inspection if required by these entities? (Clause I-G or I-H) If no, explain.	
Yes No	4. Have you or do you plan to cut down any trees, altered the vegetation, or caused disturbance to the soil on the lot with a current written approval letter for these activities? (Clause III-E) If yes, explain.	
Yes No	5. Have your kept your structures and access road in good repair, and maintained a neat appearance on the lot? (Clause IV-E and III-C) If no, explain.	
Yes No	6. Are there existing dangerous trees, limbs, or other hazardous conditions that could pose a risk of injury on your lot? (Clause IV-G and III-D) If yes, explain what hazards exist and why they have not been addressed. Please submit Hazard Tree Request if needed.	
Yes No	7. Have you paid your rental fees for the current year? (Clause VI) If no, explain.	
Yes No	8. Do you rent your cabin?	
Yes No	8a. If you answered yes above, have you received written approval for renting or subleasing your structures and adhered to the limitations of this use? (Clause VII-A) If no, explain.	
Yes No	9. Are you planning to sell your structures in the next year? (Clauses VII-B, and VII-C) If yes, request a FS-2700-3a form and complete.	
Yes No	10. Are you living at the recreation residence full-time, to the exclusion of a home elsewhere? (Clause III-B) If yes, explain.	
List Item Number and Explanation:		
Additional Comments. Attach additional sheets, if necessary.		

Please fill out both sides of this form, sign, date, and return this form to your local Ranger District by:
JULY 1 EACH YEAR

**PART II - OPERATION AND MAINTENANCE PLAN STANDARDS
STANDARDS FROM APPROVED LOCAL O&M PLANS**

Item Inspected	Meets Standard		Action Required/Due Date
Have you read your permit and operation plan this year?	Yes	No	
Are you in compliance with all standards and guidelines in the Naches O&M Plan (Part I to Part XII)?	Yes	No	
Inventory of Lot Improvements (Other Than Cabin)		Description of Improvement (if necessary)	
Outhouse	Yes	No	
Storage Building(s)	Yes	No	If yes, how many?
Well	Yes	No	
Waterline (only check yes if water comes from a spring or community well or water source off of your lot)	Yes	No	
Propane Tank	Yes	No	
Sleeping Cabin	Yes	No	
Other (describe in narrative column. Includes pump or well houses, woodsheds, garages, additional structures, etc).	Yes	No	

I certify that I have inspected the structures and permitted area, and the above information is accurate and true. I understand that any modifications to the structures and lot require prior written approval by the authorized officer.

Signature of Permit Holder

Date

Print Name

18 U.S.C. Section 1001 makes it a crime for any person knowingly and willfully to make to any department or agency of the United State any false, fictitious, or fraudulent statements or representations as to any matter within its jurisdiction.

According to the Paperwork Reduction Act of 1995, an agency may not conduct or sponsor, and a person is not required to respond to a collection of information unless it displays a valid OMB control number. The valid OMB control number for this information collection is 0596-0082. The time required to complete this information collection is estimated to average 2.5 hours per response, including the time for reviewing instructions, searching existing data sources, gathering and maintaining the data needed, and completing and reviewing the collection of information.

The U.S. Department of Agriculture (USDA) prohibits discrimination in all its programs and activities on the basis of race, color, national origin, gender, religion, age, disability, political beliefs, sexual orientation, and marital or family status. (Not all prohibited bases apply to all programs.) Persons with disabilities who require alternative means for communication of program information (Braille, large print, audiotape, etc.) should contact USDA's TARGET Center at 202-720-2600 (voice and TDD).

To file a complaint of discrimination, write USDA, Director, Office of Civil Rights, 1400 Independence Avenue, SW, Washington, DC 20250-9410 or call (866) 632-9992 (voice). TDD users can contact USDA through local relay or the Federal relay at (800) 877-8339 (TDD) or (866) 377-8642 (relay voice). USDA is an equal opportunity provider and employer.

The Privacy Act of 1974 (5 U.S.C. 552a) and the Freedom of Information Act (5 U.S.C. 552) govern the confidentiality to be provided for information received by the Forest Service.

Request to Treat Hazard Trees

Naches Ranger District

Complete Form and return to: Naches Ranger District
Attn: Special Uses
10237 Highway 12
Naches, WA 98937

Location (Tract & Cabin #, Camp or Site): _____

Name: _____

Address: _____

Contact Phone: _____ Email: _____

Number of trees marked for this request: _____

Color of flagging or ribbon indicating these trees: _____

Instructions:

- ❖ Mark tree with survey ribbon before submitting this request form to the Forest Service. If possible, number the trees on the ribbon to assist with identification/evaluation.
- ❖ Include map of tree location. You can use the back of this form to draw the tree locations, please include locations of structures, utilities at risk, or other landmarks. If possible, please include pictures of identified trees.
- ❖ Portions of the tree greater than 9 inches diameter are to be left on the ground in a minimum of 10-foot-long sections.
- ❖ The Permit Holder is responsible for all hazard tree actions, including felling and clean up.

Hazard Tree Map

Okanogan-Wenatchee National Forest

Naches Ranger District

Hazard Tree Process

As the permit holder, you are responsible for identifying hazard trees on and adjacent to your permitted site. Read your permit carefully and contact us for clarification of any aspects that you do not fully understand. It is recommended that you examine the condition of the trees within striking distance of structures and other improvements on each visit. Conditions can change very rapidly.

Step 1: Identify and Notify

Approval Not Required. Dead or hanging limbs and dead trees or dead shrubs less than 20 feet tall or 7 inches in diameter may be able to be addressed without specific approval. It is advised to include them on your Hazard Tree form to better inform District staff of conditions around your permitted area. If there are multiple dead trees, regardless of size, this could be an indicator of a serious problem.

Approval Required. Cutting of trees taller than 20 feet and the cutting of all live shrubs or trees requires review and written approval. Tie surveyor's ribbon around the tree(s) of concern, complete the Hazard Tree Request form, including a sketch map indicating the location of the identified vegetation and return it to our office.

Bona fide Emergencies. In situations that present an immediate threat to life or property (e.g. a broken or uprooted tree lodged in another tree or leaning or resting on a cabin, outbuilding, propane tank, etc.) contact our office immediately. Staff can work with you to expedite the Approval process for the identified hazard.

Step 2: Review. We will conduct a site visit to evaluate whether the identified trees satisfy the established hazard tree criteria.

Step 3: Notification. You will receive written notification following our site visit with the actions you are approved to take. Please be advised that in some cases trees may not be approved, this is most common with live, healthy trees. With very few exceptions, our Permitted sites are located within or adjacent to habitat for plants, animals or fish protected under the Endangered Species Act (ESA). Consequently, there will likely be some specific requirements for how the approved trees must be treated. It is very important that these requirements be met.

Step 4: Removal and Disposal. You may utilize the material from this project that is smaller than 9 inches in diameter. Needles, branches, trunk fragments, bark and other debris resulting from cutting the tree is referred to as "slash". Except for trees felled into a stream or lake (see Exhibit 2.), you are required to dispose of slash with proper authorizations and precautions by mechanically chipping or burning it. Burning may only be accomplished in established campfire rings or pits in compliance with any Public Use Restrictions that may be in place. You are not authorized to burn any piles on National Forest System lands outside of the previously mentioned campfire rings. If you are unsure how to accomplish this, please ask us. Do not pile the slash on your lot for an extended period or deposit it elsewhere on the forest. Concentrations of dead, dry vegetation create an increased fire hazard.

Default Tree Cutting Specifications

(When other requirements are not specified)

Felled trees will be left in the longest segments practical. Ideally the tree would not be cut below the point where it exceeds nine inches in cross-sectional diameter (approximately the width of the short edge of this paper). If cutting is necessary to re-establish access to roadways or a portion of the lot, the tree may be cut into lengths of ten feet or longer.

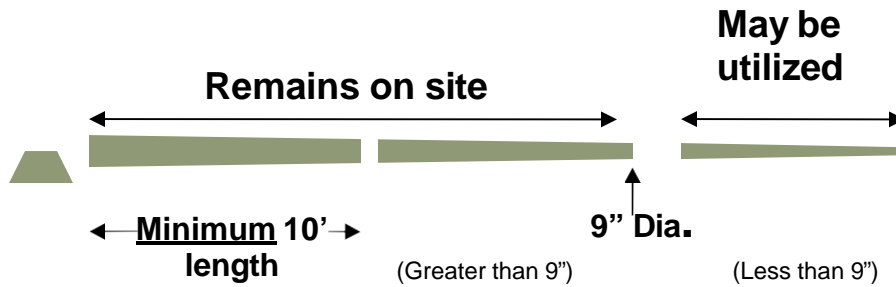


Exhibit 1. Standards for trees to be left on-site.

Hazard trees on or near stream banks should be felled toward or into the stream and left intact to provide fish habitat and stream bank stability. Do not cut the limbs or trunk without specific written approval.

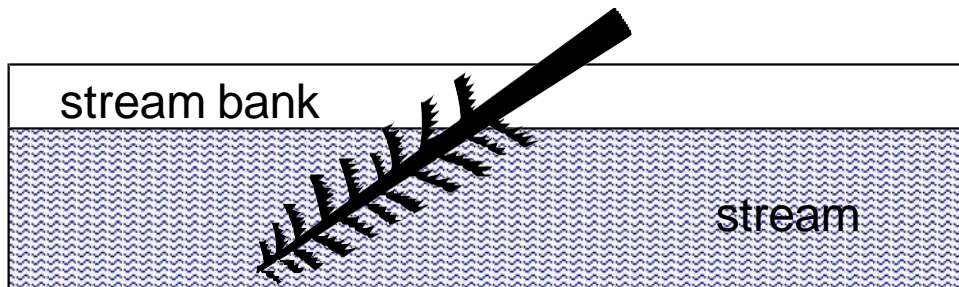


Exhibit 2. Standards for trees on stream banks.



PROJECT PROPOSAL

Permit Holder Name: _____ Date: _____

Mailing Address:

Email Address: _____ Phone Number: _____

Cabin Tract & Lot # or Permitted Site:

NOTE: All projects are subject to a level of environmental analysis based on the complexity of the project and the location. Projects are also reviewed to comply with established design guidelines and USFS R6 Regulations. Environmental analysis that takes more than 50 hours to complete is subject to Cost Recovery regulations found under FSH 2709.11, Chapter 20. A copy of any of the above-mentioned references can be provided upon request. Projects involving structural changes may require plans prepared by a licensed engineer or architect.

PROJECT DESCRIPTION

Attach additional pages/documentation as needed. Submit separate forms for each different project proposal.

- New:** A new improvement that does not currently exist on the lot or as part of an existing structure. An amendment to the Special Use permit may be required once project is completed and final inspection conducted.

- Repair/Replacement In-Kind:** A minor repair or replacement of materials on the exterior of authorized structures/improvements on the permitted Site. This includes siding, trim, roofing, steps, or railing that will use the same material, color, style, size and design of the existing material.

- Replacement-New Design:** The replacement of exterior material which is different from the existing material that will change the character of the structure, which would include color, style, size or design. This includes modifications like a change in roofing, siding materials, or changing windows or doors.

PROPOSED PROJECT:

Is the proposed project located on lot or at least five (5) feet from permit boundary line?

YES NO N/A

Is the location of the proposed project staked or otherwise identified?

YES NO N/A

Is a project site plan attached that shows the location of the proposed project, adjacent structures, route of any necessary trenching, and landscape features including rivers/bodies of water in reference to project location?

YES NO N/A

Provide a general list of materials that will be used:

If replacement is in-kind, please describe the new color, size, and materials that you are proposing to replace with as much detail as if it were a new construction project.

If applicable, describe the existing materials on the structure of those areas you are proposing to change.

Provide the color of any proposed paint, stain, sealant, or other exterior materials (metal roofing, siding, etc.) that is proposed to be used.

Will equipment be used (equipment, heavy equipment, power saws, etc.)? If so, provide a description of equipment.

Does this proposal include vegetation disturbance and/or removal?

YES NO

If so, explain what will be done and how you will restore project area to its previous condition.

Is ground disturbance required?

YES NO N/A

If so, provide a brief description of the ground disturbance required including measurements of area (i.e. trenching, single hole, surface grading).

Who will conduct the work?

PERMIT HOLDER CONTRACTOR

Contractor Name and Phone Number: _____

Have you acquired required permits and/or evaluation from the county/state agencies necessary?

YES NO

I acknowledge that no work can begin on this project until written approval from the Ranger District and all required State/County permits have been received

YES NO

Permit Holder Signature

Date

Preparing for a Wildfire

When time allows:

Keep wood pile stacked away from structures if possible.

Keep property tidy/free of clutter.

Maintain accessibility to cabin for emergency vehicles.

Rake/clear debris and litter away from all structures, including off of decks, porches, etc.

Keep driveways and parking areas free of needles and debris as they may act as a fireline, slowing or stopping the spread of fire.

Keep burnable materials from contacting structures, such as limbs touching a roof.

Upon leaving if fire is threatening: (Checklist)

___ Close all windows, shutters, doors,
etc.

___ Shut off gas supply

___ Turn on any outside sprinklers if available.

Don't wait too long to leave!

***When leaving, post this on door outside of cabin and fill out
info below.***

Name _____

Contact Number _____

Time Departed _____

Special Notes/Instructions



Permit Holder Contact Information Update

Date: _____ Authorization ID(s):NAC _____
This can be found at the top of your permit

Permit Holder Name(s): _____

Point of Contact or Additional Contact(s) : _____

Mailing Address: _____

Billing Address (if different): _____

Phone Number(s): _____

Email Address(s): _____

Did you receive your Annual Bill?

Yes No *If No, a copy will be resent*

Contact Preference

US Mail- Billing US Mail- Other Commutation
Email- Billing Email- Other Communication

Additional Notes/Comments relating to your Permit: *(Attach additional sheets if needed)*
