



# St. Cloud Day Use Area Improvements

Skamania County, Washington

## Consistency Determination (CD-22-01-S)

---

### Background

The project activities include replacing a waterless vault restroom and visitor information kiosk, installing a recreation fee collection tube, and improving accessibility between the parking area and restroom at St. Cloud Day Use Area. This area provides a short, 0.3-mile loop trail, picnic tables, and access to the shoreline of the Columbia River. It is also the site of a historic apple orchard. The area receives a low to moderate amount of year-round use and the flat terrain makes it an ideal location for future development of a fully accessible trail.

The project has been designed to minimize disturbance with replacement of facilities in kind and in same location. Design will ensure historic apple trees are protected by avoiding removal of, or disturbance in areas around, the apple trees. Proposed grading is limited (less than 100 cubic yards of material). Pathway will be paved to ensure accessibility and reduce future maintenance costs.

### Decision

I find that the above proposal is consistent with the Management Plan for the Columbia River Gorge National Scenic Area (CRGNSA) if it is implemented as described in the application materials, the CRGNSA Consistency Determination and Findings of Fact referenced as CD-22-01-S, and provided the following conditions are applied:

1. Applicant to use custom color AMS-STD Federal Standard Color #34088 Olive Drab for toilet building.
2. All exiting vegetation be retained and unharmed, except removal of Himalayan Blackberry. Areas treated for blackberry will be reseeded with native vegetation.
3. All potentially visible metal and concrete for kiosk and bollards achieve a flat, matte dark earth toned color. Applicant to provide sample of finish prior to application for all structures and surfaces.
4. If any historic or prehistoric cultural resources are uncovered during project activities, the applicant shall cease work and immediately notify the CRGNSA office and the Washington Office of Archeology and Historical Preservation. The applicant should also notify the Indian Tribal governments within 24 hours if the resources are prehistoric or otherwise associated with Native American Indians.



---

Columbia River Gorge National Scenic Area | February 2024

### Administrative Review (Appeal) Opportunities

A written request for review of the National Scenic Area Consistency Determination, with reasons to support the request, must be received within 20 days of the date shown with the Forest Supervisor signature below. Requests for review should be addressed to: Request for Review, Regional Forester, P.O. Box 3623, Portland, OR 97208. An electronic copy of the request should be provided to the USFS-CRGNSA Office at 902 Wasco Street, Suite 200, Hood River, Oregon 97031, ATTN Appeals, and/or emailed to [appeals-pacificnorthwest-columbia-river-gorge-nsa@usda.gov](mailto:appeals-pacificnorthwest-columbia-river-gorge-nsa@usda.gov).

### Implementation Date

This project may begin immediately after the date on this decision. Project implementation must comply with the conditions of approval described above. The Consistency Determination expires two years after the date on this determination. If implementation has not commenced before that date, a new consistency review or request for extension shall be required.

### Contact

For additional information concerning this decision, please contact: Aiden Forsi, NEPA Planner, 541-645-3645 or [aiden.forsi@usda.gov](mailto:aiden.forsi@usda.gov).

---

DONNA MICKLEY  
Forest Supervisor  
Columbia River Gorge National Scenic Area

Date



# CRGNSA Consistency Determination

## Project Name, CD-22-01-S

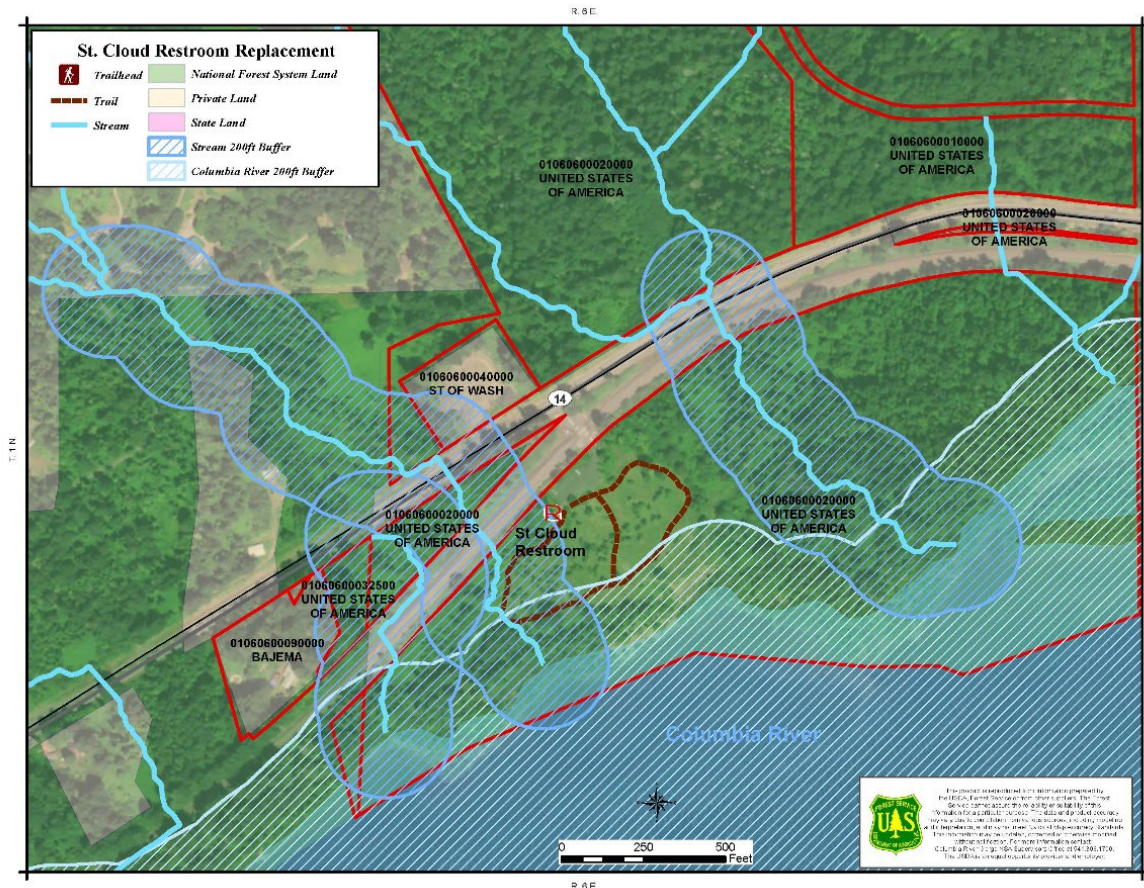
### Parcel/Tax Lot #01060600020000, Skamania County, Washington

#### FINDINGS OF FACT

LANDOWNER:	<b>USDA Forest Service, Columbia River Gorge National Scenic Area</b>
APPLICANT:	<b>USDA Forest Service, Columbia River Gorge National Scenic Area</b>
PROPOSED ACTION:	<b>The proposed project is to replace an existing waterless vault restroom and visitor information kiosk, install a recreation fee collection tube, and improve accessibility between the parking area and restroom at St. Cloud Day Use Area. This area provides a short, 0.3-mile loop trail, picnic tables, and access to the shoreline of the Columbia River. It is also the site of a historic apple orchard. The area receives a low to moderate amount of year-round use and the flat terrain makes it an ideal location for future development of a fully accessible trail.</b>
LOCATION:	<b>T01N R06E Section 6, W.M.</b>
NATIONAL SCENIC AREA DESIGNATION:	<b>Special Management Area (SMA)</b>
LAND USE DESIGNATION:	<b>Open Space</b>
LANDSCAPE SETTING:	<b>River Bottomlands</b>

The following findings of fact contain the applicable standards and guidelines from the CRGNSA Management Plan. The Management Plan, as adopted in 2020, is in effect. The CRGNSA Management Plan standards and guidelines are displayed in regular type. The findings are displayed in **bold type**.

## Project Site Plan (Figure 1)



*Note regarding stream buffers: specialist review found that the stream located closest to the project area is located farther to the west. As such, the proposed development is all located outside of the 200 foot buffer. This map was not updated to show the stream channel identified in the field.*

## Public Comment

A notice describing the project was sent to a mailing list of known interested parties and adjacent landowners on March 3, 2022. A period of 30 days was allowed for public comment. The following comments were received:

*Comment: Friends of the Columbia Gorge requested the CRGNSA use the version of the CRGNSA Management Plan as concurred upon by the Secretary of Agriculture in February of 2021. The letter documents support of the project so long as it complies with criteria described the CRGNSA Management Plan, including application requirements and protection of the Scenic, Natural, Cultural, and Recreation resources.*

*Response: The CRGNSA Management Plan as concurred upon by the Secretary of Agriculture went into effect in July 2022. The Consistency Determination and Findings of Fact document the project's compliance with relevant requirements and guidelines of the CRGNSA Management Plan.*



## Project Proposal

### *Purpose & Need*

The existing restroom is in poor condition and does not meet accessibility standards. The existing kiosk is placed in a location that is also not accessible. There is currently no onsite option for payment of recreation use fees. There is a need to replace the restroom and kiosk to meet current accessibility guidelines, improve visitor services, and provide for a mechanism for fee collection.

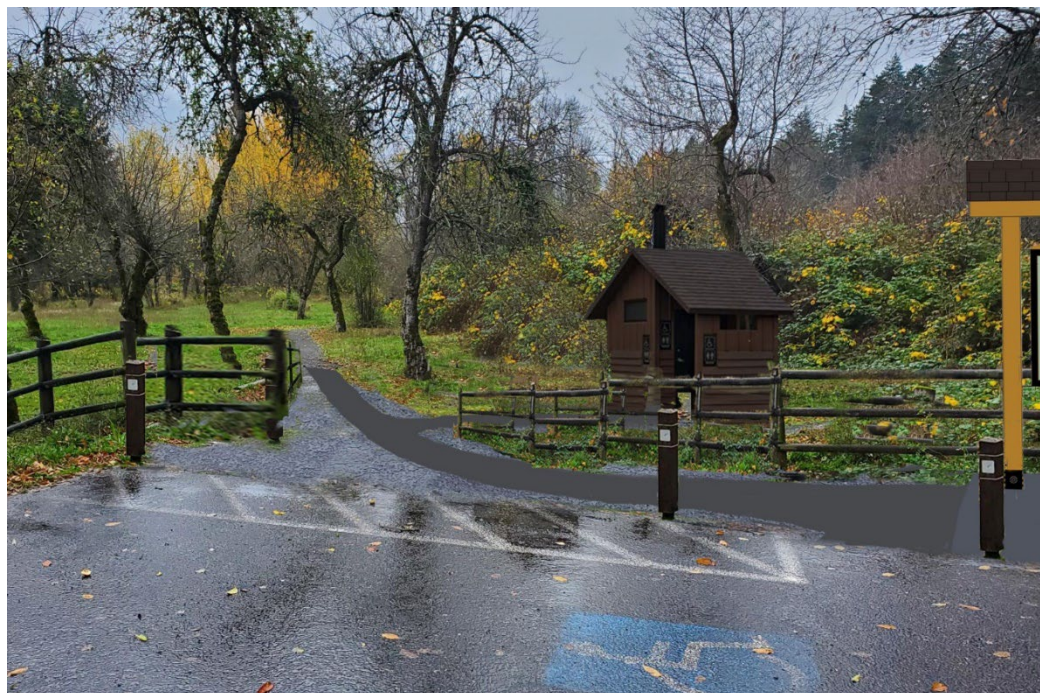
### *Proposed Action*

The proposed action is to replace a waterless vault restroom and visitor information kiosk, install a recreation fee collection tube, and improve accessibility between the parking area and restroom at St. Cloud Day Use Area. The project will be designed to minimize disturbance with replacement of the restroom in kind and in same location. Design will ensure historic apple trees are protected by avoiding removal of, or disturbance in areas around, the apple trees. Pathway improvements will be exposed aggregate concrete to improve accessibility and reduce costs associated with future maintenance.

**Figure 1: Conceptual layout of St. Cloud Day Use Area improvement project**



## Figure 2: Rendering of improvements at the St. Cloud Day Use Area upon project completion



*Note regarding depiction of trail surface: the above image shows the location of the proposed trail improvements, not their final condition. The final condition will be an aggregate concrete surface with more variation in texture than what is shown above.*

### Restroom Replacement (Figure 4)

Project would involve replacement of an existing restroom with similar style restroom in same location. The new restroom would be a single waterless vault with dark gray/brown color to blend with natural surroundings. During review, “Olive Drab” was proposed and accepted as the restroom color. Restroom will have a low roof pitch to maintain a horizontal appearance compatible with the River Bottomlands Landscape Setting. To maximize ventilation, the vent stack will be painted black and located on the south/southwest side of restroom. The vent stack will be kept as short as possible while still functioning well and will have a bird-excluding mesh placed over the top. The restroom roof would be constructed of formed concrete to mimic the look of shakes. The existing restroom (including underground vault) would be decommissioned and removed prior to construction of new restroom.

### Kiosk Replacement (Figure 5)

Project would involve relocation and replacement of the existing single-panel visitor information kiosk to improve accessibility and provide required fee information. A single-panel kiosk with roof (faux cedar shakes) and black iron boot foundation anchors would be placed on a exposed aggregate concrete pad approximately 80” X 60”, 10” deep, and dark grey in color (to blend with existing asphalt). This concrete pad will be placed adjacent to the existing parking area for accessibility and be used to anchor the kiosk, fee tube, and protective bollards.

### Recreation Fee Tube / Bollards Installation (Figure 6)

Project would involve installation of a fee tube for collection of recreation use fees. The fee tube would be placed on a concrete pad (described above) and to the right (northwest) of the kiosk. Fee tube would be dark brown to blend with natural surroundings. Bollards would also be installed to protect the kiosk and fee tube from vehicle damage. Bollards would be designed to mimic the look of the wood fencing in the area.

### Accessibility Improvements

The existing restroom, kiosk, and restroom access trail do not meet accessibility guidelines. The access trail between the parking area and restroom receives runoff from the paved parking area and this runoff has caused erosion at the edge of the asphalt pavement. The transition from pavement to trail requires regular maintenance and the grade of trail between parking area and restroom exceeds recommended grade.

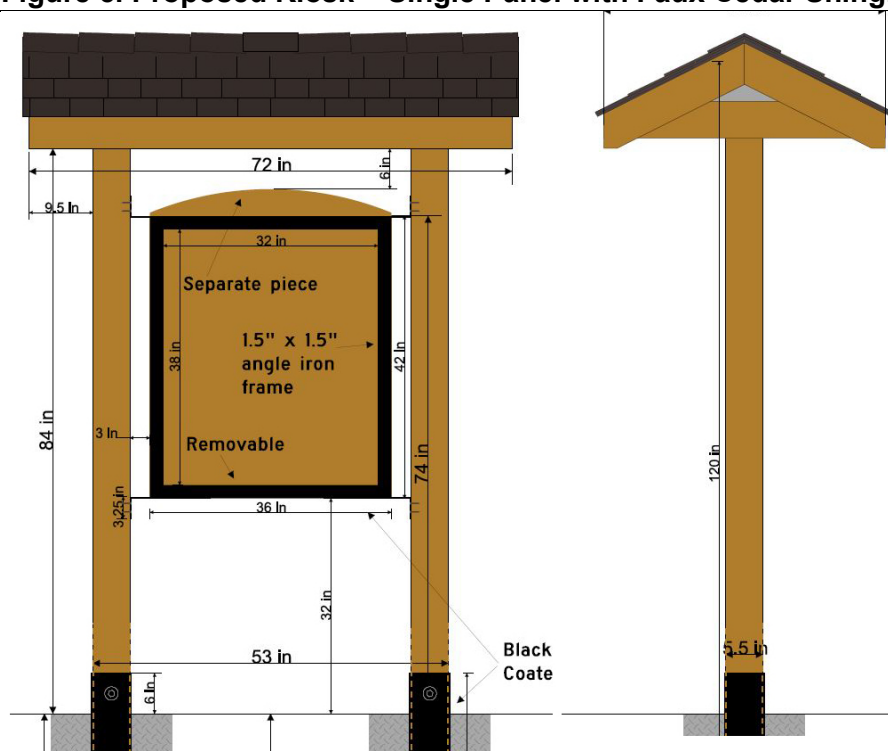
A short portion of the access trail (between parking area and restroom) will be realigned, widened to reduce grade and meet accessibility guidelines. This improved section of trail would be 42" wide with exposed aggregate concrete surfacing to ensure accessibility while reducing ongoing maintenance. Removable bollards would be installed at the trail entrance to keep vehicles out of the area while allowing for administrative and emergency access when needed.

**Figure 4. Proposed restroom - CXT Single Vault, Cascadian Style, "Olive Drab"**





**Figure 5. Proposed Kiosk – Single Panel with Faux Cedar Shingle Roof**



**Figure 6. Proposed Fee Tube**







## Project Design Criteria

### *Scenery*

- Color and pitch of restroom will be approved by Landscape Architect and be compatible with the River Bottomlands landscape setting and meet requirements associated with foreground visibility of a scenic corridor.
- Landscape Architect will review and approve paint chips from the manufacturer prior to finalizing.
- Height of toilet stack and roof will be approved by Landscape Architect prior to finalizing.

### *Botany*

- To prevent spreading of invasive plants and disturbing native vegetation, disturbance will be limited as much as possible to existing vegetation and footprint.
- To reduce the potential for weed spread through mineral materials (e.g. gravel and rock) or fill, contract for construction work will include provisions requiring any material from other sources to be weed-free.
- If straw bales are used for sediment, erosion control, or seeding mulch, they will be certified weed-free or be acquired from certified fields that produce weed-free seed for the grain or grass seed industry.
- Revegetation of disturbed areas will occur within one year for all newly disturbed areas with desired native bunch grass, native forb, and native shrub species.
- Invasive plants within project footprint will be treated and disturbed areas will be replanted with native plants to help support success of the required revegetation.
- Treatment of non-native Himalayan blackberry (*Rubus bifrons*) within project area is recommended. These areas should be replanted with native species.
- To reduce the potential for transport or spread of invasive plants by construction, equipment and vehicles, all vehicles and equipment shall be required to be washed before entering Forest Service lands.
- Botanist will work with Washington State University Integrated Weed Control Project to replace biological control insects lost during construction.

### *Fisheries / Wildlife*

- When constructing pathway between parking area and restroom, place a non-permeable membrane before laying down exposed aggregate concrete.

### *Hydrology / Soils*

- Designate the existing parking area for equipment staging, stockpiling materials, and parking to minimize the area of ground disturbance.
- Develop and implement an erosion control and sediment plan that covers all disturbed areas, including borrow, stockpile, fueling, and staging areas used during construction activities.
  - Install sediment and stormwater controls before initiating surface-disturbing activities to the extent practicable.
  - Schedule, to the extent practicable, construction activities to avoid direct soil and water disturbance during periods of the year when heavy precipitation and runoff are likely to occur.
- Install and maintain suitable drainage measures to collect and disperse runoff and avoid or minimize erosion of trail surface and adjacent areas.
- Prepare and maintain an operation and maintenance plan for all waste treatment or disposal facilities (FSM 7410).



- Inspect vaults, septic tanks, and other wastewater systems at regular intervals to ensure that capacities are not exceeded and that the system is functioning properly and in compliance with applicable State and local regulations.
- Implement follow-up actions identified in the inspections as needed to ensure that the system is working properly.
- Include procedures in operation and maintenance plans to contain or avoid releases of pollutants in floods or other emergencies.

#### **Lands**

- Access is via SR14 and the railroad crossing at St. Cloud. Occasionally BNSF performs railroad maintenance that blocks access to the site. Contact BNSF prior to scheduling construction to ensure there are no scheduling conflicts.

### **Land Use Designation**

The Management Plan, in Part II, Chapter 3 – Open Space, SMA Provisions, Review Uses, states:

*1. An Open Space plan shall be completed by the primary managing agency or landowner prior to any new land uses or development and shall be reviewed by the Forest Service. The Open Space plan shall include the following:*

- A. Direction for resource protection, enhancement, and management.*
- B. Review of existing uses to determine compatibility with Open Space values.*
- C. Consultation with members of the public and with agency and resource specialists.*

**Finding: This project is consistent with the *Western Washington Columbia River Tributaries Watershed Analysis*, which was developed to “fulfill the requirements for the Open Space Plan in those areas designated Open Space in the Columbia River Gorge National Scenic Area Management Plan.”**

**The *Western Washington Columbia River Tributaries Watershed Analysis* at page 70 recommends that the CRGNSA “prioritize proposed developments based on public desires and needs.” This desired condition is fulfilled through the project activities to replace the waterless vault restroom and visitor information kiosk, install a recreation fee collection tube, and improve accessibility between the parking area and restroom at St. Cloud Day Use Area.**

*2. The following new uses may be allowed on lands designated Open Space subject to review for compliance with scenic, cultural, natural, and recreational resources guidelines:*

- A. Changes in existing uses, including reconstruction, replacement, and expansion of existing structures and transportation facilities, except for commercial forest practices.*

**Finding: The proposed activities are consistent with the existing use of the St. Cloud Day Use site and consistent with Review Use 2.A. listed above for reconstruction, replacement, and expansion of existing structures.**



## Scenery

### SMA Design Guidelines Based on Landscape Settings

#### **Finding: The site is within the River Bottomlands Landscape Setting.**

1. The following guidelines apply to all lands within SMA landscape settings regardless of visibility from KVAs (includes areas visible from KVAs as well as areas not visible from KVAs):

D. River Bottomlands: River Bottomlands shall retain the overall visual character of a floodplain and associated islands.

- (1) Buildings shall have an overall horizontal appearance in areas with little tree cover.
- (2) Use of plant species native to the landscape setting. Examples of native species are identified in the Scenic Implementation Handbook as appropriate to the area shall be encouraged. Where non-native plants are used, they shall have native-appearing characteristics.

**Finding: The proposal is within the River Bottomlands Landscape Setting. The CRGNSA Management Plan states that regardless of visibility from KVAs the project area shall retain the overall visual character of the natural appearance of a floodplain and associated islands. Maintaining the appearance (form, line, color, texture, scale, proportion) of the distinctive and valued characteristics of the landscape settings would ensure the project's compatibility with the setting's natural character.**

**Buildings proposed include a Romtec Cascadian vault toilet in color Olive Drab with horizontal lap siding elements. The Cascadian design theme mimics natural wood materials and appears to look like a small agricultural structure which would be harmonious with the historic apple orchard. Seeding with native plants is proposed. Guideline met.**

#### **Suggested conditions of approval:**

- **Applicant to use custom color AMS-STD Federal Standard Color #34088 Olive Drab for toilet building**



SMA Guidelines for Development and Uses Visible from KVAs

1. The guidelines in this section shall apply to proposed development on sites topographically visible from key viewing areas.

**Finding: The landscape is topographically visible from the following Key Viewing Areas:**

KVA	Foreground	Middleground	Background
SR 14	X (0.09 miles)		
I-84		X (1.37 miles)	
Historic Columbia River Highway		X (1.42 miles)	
Multnomah Falls		X (1.58 miles)	
Columbia River	X (0.11 miles)		

2. New development and land uses shall be evaluated to ensure that the required scenic standard is met and that scenic resources are not adversely affected, including cumulative effects, based on the degree of visibility from key viewing areas.

**Finding: Cumulative effects are addressed at the end of the Scenic Resources section.**

3. The required SMA scenic standards for all development and uses are summarized in the following table:

LANDSCAPE SETTING	LAND USE DESIGNATION	SCENIC STANDARD
Coniferous Woodland, Oak-Pine Woodland	Forest (National Forest Lands), Open Space	Not Visually Evident
River Bottomlands	Open Space	Not Visually Evident
Gorge Walls, Canyonlands, Wildlands	Forest, Agriculture, Public Recreation, Open Space	Not Visually Evident
Coniferous Woodland, Oak-Pine Woodland	Forest, Agriculture, Residential, Public Recreation	Visually Subordinate
Residential	Residential	Visually Subordinate
Pastoral	Forest, Agriculture, Public Recreation, Open Space	Visually Subordinate
River Bottomlands	Forest, Agriculture, Public Recreation	Visually Subordinate

**Finding: The scenic standard for this project is Not Visually Evident. Not Visually Evident means the proposal shall not be noticeable to the casual visitor, and distinctive natural characteristics of the landscape setting as seen from KVAs or Scenic Routes do not appear altered and remain intact.**

4. In all landscape settings, scenic standards shall be met by blending new development with the adjacent natural landscape elements rather than with existing development.





**Finding: This project will replace the only existing development on site with a new building. The project design criteria ensure that the new building blends with adjacent natural landscape elements, primarily through its small size and use of an appropriate exterior color. This guideline is met.**

5. Proposed development or land uses shall be sited to achieve the applicable scenic standard. Development shall be designed to fit the natural topography, to take advantage of landform and vegetation screening, and to minimize visible grading or other modifications of landforms, vegetation cover, and natural characteristics. When screening of development is needed to meet the scenic standard from key viewing areas, use of existing topography and vegetation shall be given priority over other means of achieving the scenic standard such as planting new vegetation or using artificial berms.

**Finding: The proposal is required to meet the scenic standard of Not Visually Evident to the surrounding landscape and as seen from KVAs. The toilet building, kiosk, bollards, fee tube and associated trail improvements have been carefully sited to take advantage of existing vegetation and landform between the proposal and the surrounding KVAs. The toilet building will be placed in the same footprint as previous toilet, with only the kiosk changing location. No further screening vegetation is recommended. Minimal grading is proposed and would be screened by existing vegetation and landform from corresponding KVAs.**

6. The extent and type of conditions applied to a proposed development or use to achieve the scenic standard shall be proportionate to its degree of visibility from key viewing areas.

A. Decisions shall include written findings addressing the factors influencing the degree of visibility, including but not limited to:

- (1) The amount of area of the building site exposed to key viewing areas,
- (2) The degree of existing vegetation providing screening,
- (3) The distance from the building site to the key viewing areas from which it is visible,
- (4) The number of key viewing areas from which it is visible, and
- (5) The linear distance along the key viewing areas from which the building site is visible (for linear key viewing areas, such as roads).

B. Conditions may be applied to various elements of proposed developments to ensure they meet the scenic standard for their setting as visible from key viewing areas, including but not limited to:

- (1) Siting (location of development on the subject property, building orientation, and other elements),
- (2) Retention of existing vegetation,
- (3) Design (form, line, color, texture, reflectivity, size, shape, height, architectural and design details and other elements), and



(4) New landscaping.

**Finding: Proposed development is visible from Key Viewing Areas (see above). The scenic standard is *Not Visually Evident*.**

**Visibility**

**SR14:** The proposal is topographically visible 0.09 miles from SR14 in the immediate foreground for a linear distance of 1 mile. The existing site has solid deciduous and coniferous vegetation screening the proposal from the KVA. Proposed material selection are natural appearing, non reflective, dark earth tone colors, and will allow for the proposal to blend with the surroundings and maintain the not visually evident standard from this location. There is likelihood that the proposal would be somewhat noticeable during the winter months from SR14. After analyzing the elevation profile from the proposed roof height and the views from the road, it appears the roof line of the toilet building, and kiosk would be approximately in line with the elevation of the existing ground between SR14 and the proposal. This feature along with other with other design features ensuring a natural appearance (form, line, texture), non-reflective materials and dark earth toned color would likely help the development not be noticeable to the casual observer.

**Suggested conditions of approval:**

- All exiting vegetation be retained, except Himalayan Blackberry proposed to be removed and replanted with native vegetation
- Applicant to use custom color AMS-STD Federal Standard Color #34088 Olive Drab for toilet building
- All potentially visible metal and concrete for kiosk and bollards achieve a flat, matte dark earth toned color approved by Scenic Area Landscape Architect.

**I84, HRCH:** The proposal is topographically visible approximately 1.3 to 1.5 miles in the middleground from I84 and HCRH for a linear distance between 5.5 and 6.5 miles. Because of existing screening vegetation and viewing distance, proposal would be difficult to discern to the casual observer while the defining features of the setting would appear intact.

**Multnomah Falls:** The proposal is topographically visible approximately 1.58 miles in the middleground from Multnomah Falls. Because of existing screening vegetation and viewing distance, proposal would be difficult to discern to the casual observer while the defining features of the setting would appear intact.

**Cumulative Effects**

If there are no discernable effects, then there would be no adverse cumulative effects on the Scenic resource because of the project.



7. Sites approved for new development to achieve scenic standards shall be consistent with guidelines to protect wetlands, riparian corridors, sensitive plant or wildlife sites and the buffer zones of each of these natural resources, and guidelines to protect cultural resources.

**Finding: Proposed development meets cultural and natural resource protection guidelines. See Cultural Resource and Natural Resource sections below.**

8. Proposed development shall not protrude above the line of a bluff, cliff, or skyline as visible from key viewing areas.

**Finding: Constructed elements would not protrude above the skyline as visible from Key Viewing Areas. Guideline met.**

9. Structure height shall remain below the average tree canopy height of the natural vegetation adjacent to the structure, except if it has been demonstrated that meeting this guideline is not feasible considering the function of the structure.

**Finding: Structure heights would remain well below local tree and vegetation height. Guideline met.**

10. The following guidelines shall apply to new landscaping used to screen development from key viewing areas:

A. New landscaping (including new earth berms) to achieve the required scenic standard from key viewing areas shall be required only when application of all other available guidelines in this chapter is not sufficient to make the development meet the scenic standard from key viewing areas. Development shall be sited to avoid the need for new landscaping wherever possible.

B. If new landscaping is necessary to meet the required standard, existing on-site vegetative screening and other visibility factors shall be analyzed to determine the extent of new landscaping, and the size of new trees needed to achieve the standard. Any vegetation planted pursuant to this guideline shall be sized to provide sufficient screening to meet the scenic standard within five years or less from the commencement of construction.

C. Landscaping shall be installed as soon as practicable, and prior to project completion. Applicants and successors in interest for the subject parcel are responsible for the proper maintenance and survival of planted vegetation, and replacement of such vegetation that does not survive.

D. The Scenic Resources Implementation Handbook shall include recommended species for each landscape setting consistent with the Landscape Settings Design Guidelines in this chapter, and minimum recommended sizes of new trees planted (based on average growth rates expected for recommended species).

**Finding: No new landscaping is required. Guideline not applicable.**

11. Unless expressly exempted by other provisions in this chapter, colors of structures on sites visible from key viewing areas shall be dark earth-tones found at the specific site or the surrounding landscape. The specific colors or list of acceptable colors shall be included as a condition of approval. The Scenic



Resources Implementation Handbook shall include a recommended palette of colors as dark, or darker than the colors in the shadows of the natural features surrounding each landscape setting.

**Finding: The proposed color “Olive Drab” is a dark earth tone color found at the specific site. Use of this color is included as a condition of approval.**

12. The exterior of structures on lands seen from key viewing areas shall be composed of non-reflective materials or materials with low reflectivity. Continuous surfaces of glass shall be limited to ensure meeting the scenic standard. The Scenic Resources Implementation Handbook includes a list of recommended exterior materials and screening methods.

**Finding: Proposed material selection are natural appearing, dark earth tone colors. The proposal does not specify matte finish on paint. To meet the conditions of the guideline the following conditions are recommended.**

**Suggested conditions of approval:**

- **All surfaces, finishes, and hardware shall be of a matte, non-reflective material. Applicant to provide sample of finish prior to application for all structures and surfaces.**

13. Any exterior lighting shall be sited, limited in intensity, and shielded or hooded in a manner that prevents lights from being highly visible from key viewing areas and from noticeably contrasting with the surrounding landscape setting, except for road lighting necessary for safety purposes.

**Finding: No exterior lighting is proposed. Guideline not applicable.**

14. Seasonal lighting displays may be permitted on a temporary basis, not to exceed 3 months.

**Finding: No exterior lighting is proposed. Guideline not applicable.**

15. New buildings shall be compatible with the general scale of existing nearby development. Expansion of existing development shall comply with this guideline to the maximum extent practicable. New buildings that are 1,500 square feet or less are exempt from this guideline. Findings addressing this guideline shall include but are not limited to:

- A. Application of the landscape setting design guidelines, if applicable.
- B. A defined study area surrounding the development that includes at least ten existing buildings, not including existing buildings within urban areas or outside the National Scenic Area.
- C. Individual evaluations of scale for each separate proposed building in the application and each separate building in the study area, including:
  - (1) All finished above ground square footage;
  - (2) Total area of covered decks and porches;
  - (3) Attached garages
  - (4) Daylight basements





(5) Breezeways, if the breezeway shares a wall with an adjacent building

(6) Dimensions, based on information from the application or on Assessor's records D. An overall evaluation demonstrating the proposed development's compatibility with surrounding development. Buildings in the vicinity of the proposed development that are significantly larger in size than the rest of the buildings in the study area should be removed from this evaluation.

**Finding: The proposed replacement bathroom is less than 1500 square feet. This guideline does not apply.**

SMA Guidelines for KVA Foregrounds and Scenic Routes

**Finding: The proposed development is within the immediate foreground of the SR 14 Scenic Route. Development must be reviewed for compliance with the following guidelines.**

1. All new development and land uses immediately adjacent to scenic routes shall be in conformance with state or county scenic route guidelines.

2. Scenic highway corridor strategies shall be implemented for Interstate 84 (I84), Washington State Route 14 (SR 14) and the Historic Columbia River Highway (HCRH). For I-84, SR 14 and the HCRH, this involves ongoing implementation (and possible updating) of the associated existing documents.

3. The goals of scenic corridor strategies shall include:

- 1) providing a framework for future highway improvements and management that meet Management Plan scenic guidelines and public transportation needs; and
- 2) creating design continuity for the highway corridor within the National Scenic Area. Corridor strategies shall, at minimum, include design guidelines (e.g. materials, conceptual designs, etc.) for typical projects that are consistent with Management Plan scenic resources provisions and an interdisciplinary, interagency project planning and development process.

**Finding: The SR 14 Corridor Strategy has been reviewed and considered throughout the design decisions and is compliant with objectives and policies within. The project will likely not be discernable to casual observers from the SR14 KVA.**

4. The following guidelines shall apply only to development within the immediate foregrounds of key viewing areas. Immediate foregrounds are defined as within the developed prism of a road or trail KVA or within the boundary of the developed area of KVAs such as Crown Pt. and Multnomah Falls. They shall apply in addition to applicable guidelines in the previous section (SMA Guidelines for Development Visible from KVAs).

A. The proposed development shall be designed and sited to meet the applicable scenic standard from the foreground of the subject KVA. If the development cannot meet the standard, findings must be made documenting why the project cannot meet the requirements in the previous section and why it cannot be redesigned or wholly or partly relocated to meet the scenic standard.

B. Findings must evaluate the following:



- (1) The limiting factors to meeting the required scenic standard and applicable guidelines from the previous section;
- (2) Reduction in project size;
- (3) Options for alternative sites for all or part of the project, considering parcel configuration and on-site topographic or vegetative screening;
- (4) Options for design changes including changing the design shape, configuration, color, height, or texture in order to meet the scenic standard.

C. Form, line, color, texture, and design of a proposed development shall be evaluated to ensure that the development blends with its setting as visible from the foreground of key viewing areas:

- (1) Form and Line - Design of the development shall minimize changes to the form of the natural landscape. Development shall borrow form and line from the landscape setting and blend with the form and line of the landscape setting. Design of the development shall avoid contrasting form and line that unnecessarily call attention to the development.
- (2) Color - Color shall be found in the project's surrounding landscape setting. Colors shall be chosen and repeated as needed to provide unity to the whole design.
- (3) Texture - Textures borrowed from the landscape setting shall be emphasized in the design of structures. Landscape textures are generally rough, irregular, and complex rather than smooth, regular, and uniform.
- (4) Design - Design solutions shall be compatible with the natural scenic quality of the Gorge. Building materials shall be natural or natural appearing. Building materials such as concrete, steel, aluminum, or plastic shall use form, line color and texture to harmonize with the natural environment. Design shall balance all design elements into a harmonious whole, using repetition of elements and blending of elements as necessary.

**Finding: The proposed development has been sited and designed to meet the *Not Visually Evident* standard as seen in the foreground of the SR 14 Key Viewing Area, discussed in the “SMA Guidelines for Development and Land Uses Visible from Key Viewing Areas” section. Findings in that section describe how the proposed development shall be conditioned to meet the applicable scenic standards, and how the form, line, color, and texture of the proposed development align with the landscape setting standards. This guideline is met.**

5. Right-of-way vegetation shall be managed to minimize visual impacts of clearing and other vegetation removal as visible from key viewing areas. Roadside vegetation management (vista clearing, planting, etc.) should enhance views from the highway.

**Finding: No clearing or other vegetation removal is proposed. This guideline does not apply.**

6. Screening from key viewing areas shall be encouraged for existing and required for new road maintenance, warehouse, and stockpile areas.



**Finding: No new road maintenance, warehouse, or stockpile areas are proposed. This guidelines does not apply.**

SMA Guidelines for Areas Not Visible from KVAs

**Finding: The proposed development is visible from Key Viewing Areas. This section does not apply.**

## Cultural

SMA Guidelines

1. All cultural resource surveys, evaluations, assessments, and mitigation plans shall be performed by professionals whose expertise reflects the type of cultural resources that are involved. Principal investigators shall meet the professional standards published in 36 CFR 61.
2. For federal or federally assisted undertakings, the reviewing agency shall complete its consultation responsibilities under Section 106 of the Historic Preservation Act of 1966 [36 CFR 800.2].
3. Discovery during construction: All authorizations for new developments or land uses shall require the immediate notification of the reviewing agency if cultural resources are discovered during construction or development. If cultural resources are discovered, particularly human bone or burials, work in the immediate area of discovery shall be suspended until a cultural resource professional can evaluate the potential significance of the discovery and recommend measures to protect and if possible recover the resource. If the discovered material is suspected to be human bone or a burial, the following procedures shall be used:
  - A. The applicant shall stop all work in the vicinity of the discovery.
  - B. The applicant shall immediately notify the Forest Service, the applicant's cultural resource professional, the county coroner, and appropriate law enforcement agencies.
  - C. The Forest Service shall notify the tribal governments if the discovery is determined to be an Indian burial or a cultural resource.
4. Reviewing agencies shall use the following steps under 36 CFR 800.4 for assessing potential effects to cultural resources and 36 CFR 800.5 for assessing adverse effects to cultural resources.

*Step 1: Literature Review and Consultation*

- A. An assessment shall be undertaken to determine whether any cultural resources listed on the National Register of Historic Places at the national, state, or local level are present on or within the area of potential direct and indirect impacts.
- B. A search shall be made of state and county government, National Scenic Area/Forest Service, and any other pertinent inventories, such as archives and photographs, to identify cultural resources. The search shall include consultation with the State Historic Preservation Office (SHPO) and tribal governments. State and tribal government response to the consultation request shall be allowed for 30 days.
- C. Cultural resource professionals knowledgeable about the area shall be consulted.



*Step 2: Field Inventory*

A. As determined by step 1, the presence of a recorded or known cultural resource, including those reported by tribal governments to be on or within the immediate vicinity of a new development or land use, shall require a field inventory by a cultural resource professional.

B. Tribal representatives shall be invited to participate in the field inventory.

C. The field inventory shall conform to one of the following standards, as determined by the cultural resource professional:

(1) Complete survey: The systematic examination of the ground surface through a controlled procedure, such as walking an area in evenly spaced transects. A complete survey may also require techniques such as clearing of vegetation or augering or shovel probing of subsurface soils for the presence of buried cultural resources.

(2) Sample survey: The sampling of an area to assess the potential of cultural resources within the area of proposed development or use. This technique is generally used for parcels that are large or difficult to survey, and is generally accomplished by a stratified random or non-stratified random sampling strategy. A parcel is stratified either by variables such as vegetation, topography or elevation, or by nonenvironmental factors such as a survey grid. Under this method, statistically valid samples are selected and surveyed to indicate the probability of presence, numbers, and types of cultural resources throughout the sampling strata. Depending on the results of the sample, a complete survey may or may not subsequently be recommended.

D. A field inventory report shall be required and shall include the following:

(1) A narrative integrating the literature review (step 1) with the field inventory (step 2).

(2) A description of the field inventory methodology used. The description shall include the type and extent of field inventory and shall be supplemented by maps that graphically illustrate the areas surveyed and not surveyed and provide the rationale for each.

(3) A statement of the presence or absence of cultural resources within the area of the new development or land use.

(4) When cultural resources are not located, a statement of the likelihood of buried or otherwise concealed cultural resources. Recommendations and standards for monitoring, if appropriate, shall be included.

E. The report shall follow the format specified by the Washington Department of Archaeology and Historic Preservation for inventories conducted in the State of Washington. Reports for inventories conducted in the State of Oregon shall follow the format specified by the Oregon State Historic Preservation Office.





F. The field inventory report shall be presented to the Forest Service for review.

*Step 3: Evaluations of Significance*

A. When cultural resources are found within the area of the new development or land use, an evaluation of significance shall be completed for each cultural resource in accordance with the criteria of the National Register of Historic Places (36 CFR 60.4).

B. Evaluations of cultural resource significance shall be guided by previous and current research designs relevant to specific research questions for the area.

C. Evaluations of the significance of traditional cultural properties shall follow National Register Bulletin 38, "Guidelines for the Evaluation and Documentation of Traditional Cultural Properties," within local and regional contexts.

D. Recommendations for eligibility to the National Register shall be completed for each identified resource, in accordance with National Register criteria A through D (36 CFR 60.4). The Forest Service shall review evaluations for adequacy.

E. Evidence of consultation with tribal governments and individuals with knowledge of the cultural resources in the project area, and documentation of their concerns, shall be included as part of the evaluation of significance.

*Step 4: Assessment of Effect*

A. For each significant (i.e., eligible for the National Register) cultural resource inventoried within the area of the proposed development or change in use, assessments of effect shall be completed, using the criteria outlined in 36 CFR 800.5 ("Assessing Effects"). Evidence of consultation with tribal governments and individuals with knowledge of the cultural resources of the project area shall be included for B through D below. The Forest Service shall review each determination for adequacy.

B. If the proposed development or change in use will have "No Adverse Effect" (36 CFR 800.4) to a significant cultural resource, documentation for that finding shall be completed, following the "Documentation Standards" of 36 CFR 800.11. If the proposed development or change in use will have an effect then the criteria of adverse effect must be applied (36 CFR 800.5).

C. If the proposed development or change in use will have an "Adverse Effect" [36 CFR 800.5] to a significant cultural resource, the type and extent of "adverse effect" upon the qualities of the property that make it eligible for the National Register shall be documented (36 CFR 800.6 "Resolution of Adverse Effects"). This documentation shall follow the process outlined under 36 CFR 800.11 ("Failure to Resolve Adverse Effects").

D. If the "effect" appears to be beneficial (i.e., an enhancement to cultural resources), recommendations shall be documented concerning the beneficial effects upon the qualities of the cultural resource that make it eligible for the National Register. This documentation shall follow the process outlined under 36 CFR 800.11 ("Documentation Standards").

*Step 5: Mitigation*



A. If there will be an effect on cultural resources, mitigation measures shall be provided (36 CFR 800.6 “Resolution of Adverse Effects”). Mitigation measures that shall be considered include avoidance of the property through project design or modification and subsequent protection, burial under fill, data recovery excavations, and other appropriate measures.

B. Evidence of consultation with tribal governments and individuals with knowledge of the affected resources, and documentation of their concerns, shall be included for all mitigation proposals.

C. The Forest Service shall review all mitigation proposals for adequacy.

5. Determination of potential effects to significant cultural resources shall include consideration of cumulative effects of proposed developments that are subject to any of the following: 1) a reconnaissance or historic survey; 2) a determination of significance; 3) an assessment of effect; or 4) a mitigation plan.

**Finding: The forest service archaeologist reviewed the proposal and determined that a reconnaissance survey was not required. Because there would be no anticipated effects to cultural resources, there would be no cumulative effects.**

**A condition should be placed stating that should any historic or prehistoric cultural resources be uncovered during project activities, the applicant shall cease work and immediately notify the CRGNSA office and the Washington Office of Archeology and Historical Preservation. The applicant should also notify the Indian Tribal governments within 24 hours if the resources are prehistoric or otherwise associated with Native American Indians.**

## Natural Resources

### SMA Guidelines: Water Resources / Wildlife and Plants

1. All new development and uses, as described in a site plan prepared by the applicant, shall be evaluated using the following guidelines to ensure that natural resources are protected from adverse effects. Cumulative effects analysis is not required for expedited review uses or development. Comments from state and federal agencies shall be carefully considered. (Site plans are described under “Review Uses” in Part II, Chapter 7: General Policies and Guidelines.)

#### 2. Water Resources (Wetlands, Streams, Ponds, Lakes, and Riparian Areas)

A. All Water Resources shall, in part, be protected by establishing undisturbed buffer zones as specified in 2.A.(2)(a) and 2(b) below. These buffer zones are measured horizontally from a wetland, stream, lake, or pond boundary as defined below.

(1) All buffer zones shall be retained undisturbed and in their natural condition, except as permitted with a mitigation plan.

(2) Buffer zones shall be measured outward from the bank full flow boundary for streams, the high water mark for ponds and lakes, the normal pool elevation for the Columbia River, and the wetland delineation boundary for wetlands on a horizontal scale that is perpendicular to the wetlands, stream, pond or lake boundary. On the main stem of



the Columbia River above Bonneville Dam, buffer zones shall be measured landward from the normal pool elevation of the Columbia River. The following buffer zone widths shall be required:

- (a) A minimum 200-foot buffer on each wetland, pond, lake, and each bank of a perennial or fish bearing stream, some of which can be intermittent.
- (b) A 50-foot buffer zone along each bank of intermittent (including ephemeral), non-fish bearing streams.
- (c) Maintenance, repair, reconstruction and realignment of roads and railroads within their rights-of-way shall be exempted from the wetlands and riparian guidelines upon demonstration of all of the following:
  - (i) The wetland within the right-of-way is a drainage ditch not part of a larger wetland outside of the right-of-way.
  - (ii) The wetland is not critical habitat.
  - (iii) Proposed activities within the right-of-way would not adversely affect a wetland adjacent to the right-of-way.

(3) The buffer width shall be increased for the following:

- (a) When the channel migration zone exceeds the recommended buffer width, the buffer width shall extend to the outer edge of the channel migration zone.
- (b) When the frequently flooded area exceeds the recommended riparian buffer zone width, the buffer width shall be extended to the outer edge of the frequently flooded area.
- (c) When an erosion or landslide hazard area exceeds the recommended width of the buffer, the buffer width shall be extended to include the hazard area.

(4) Buffer zones can be reconfigured if a project applicant demonstrates all the following: (1) the integrity and function of the buffer zone is maintained, (2) the total buffer area on the development proposal is not decreased, (3) the width reduction shall not occur within another buffer, and (4) the buffer zone width is not reduced more than 50% at any particular location. Such features as intervening topography, vegetation, man-made features, natural plant or wildlife habitat boundaries, and flood plain characteristics could be considered.

(5) Requests to reconfigure buffer zones shall be considered if an appropriate professional (botanist, plant ecologist, wildlife biologist, or hydrologist) hired by the project applicant (1) identifies the precise location of the rare wildlife/plant or water resource, (2) describes the biology of the rare wildlife/plant or hydrologic condition of the water resource, and (3) demonstrates that the proposed use will not have any negative effects, either direct or indirect, on the affected wildlife/plant and their surrounding habitat that is vital to their long-term survival or water resource and its long-term function.



(6) The local government shall submit all requests to re-configure rare wildlife/plant or water resource buffers to the Forest Service and the appropriate state agencies for review. All written comments shall be included in the project file. Based on the comments from the state and federal agencies, the local government will make a final decision on whether the reconfigured buffer zones are justified. If the final decision contradicts the comments submitted by the federal and state agencies, the local government shall justify how it reached an opposing conclusion.

**Finding: The application site plan shows that the replacement bathroom appears to be within the applicable 200 foot buffer of a stream located on the property. The CRGNSA Hydrologist visited the site on January 14, 2022 and mapped water resources in the vicinity of the project area. The stream shown on the site map is located approximately 100 feet farther west of the proposed development, due to the channel being diverted historically away from the site, likely during the construction of the railroad. This means that the proposed project activities are located at least 300 feet outside of all water resource buffer zones. Guidelines for water resources do not apply.**

### 3. Wildlife and Plants

A. Protection of wildlife/plant areas and sites shall begin when proposed new development or uses are within 1000 feet of a rare wildlife or rare plant area or site. Rare wildlife areas are those areas depicted in wildlife data, including all sensitive wildlife sites and Priority Habitats listed in this Chapter. The approximate locations of rare wildlife and rare plant areas and sites are shown in wildlife and rare plant data.

**Finding: There are no known sensitive wildlife or fish species within the project area; however, the project area is less than 1000 ft. from the Columbia River that has federally listed fish species that utilize this river including: Lower Columbia River (LCR) Chinook, LCR coho, LCR steelhead, Upper Columbia Chinook, Upper Columbia steelhead, Snake River Chinook, Snake River steelhead, Snake River Sockeye, Middle Columbia River steelhead, Columbia River chum salmon and bull trout, and their critical habitats. Additionally, Larch Mountain salamander have historically been found within 1000 ft of the project area. However, the project would have no effect on any of these fish or wildlife species, or designated critical habitats. Additionally, the project is within a Riparian Priority Habitat; however, the project is in an existing developed recreation area.**

**There are no sensitive plant species within 1000 feet of the proposed use. The following guidelines for plants do not apply.**

B. The local government shall submit site plans (of uses that are proposed within 1,000 feet of a rare wildlife or rare plant area or site) for review to the Forest Service and the appropriate state agencies (Oregon Department of Fish and Wildlife or the Washington Department of Wildlife for wildlife issues and by the Oregon Biodiversity Information Center or Washington Natural Heritage Program for plant issues).





**Finding: The Washington Department of Fish and Wildlife was notified of this project. Guideline is met.**

C. The Forest Service wildlife biologists and botanists, in consultation with the appropriate state biologists, shall review the site plan and their field survey records. They shall:

- (1) Identify/verify the precise location of the wildlife or plant area or site,
- (2) Determine if a field survey will be required,
- (3) Determine, based on the biology and habitat requirements of the affected wildlife/plant species, if the proposed use would compromise the integrity and function of or result in adverse effects (including cumulative effects) to the wildlife and plant area or site. This would include considering the time of year when wildlife and plant species are sensitive to disturbance, such as nesting and rearing seasons, or flowering season, and,
- (4) Delineate the undisturbed 200-ft buffer on the site plan for rare plants or the appropriate buffer for rare wildlife areas or sites, including nesting, roosting, and perching sites.
  - (a) Buffer zones can be reconfigured if a project applicant demonstrates all of the following: (1) the integrity and function of the buffer zones is maintained, (2) the total buffer area on the development proposal is not decreased, (3) the width reduction shall not occur within another buffer, and (4) the buffer zone width is not reduced more than 50% at any particular location. Such features as intervening topography, vegetation, man made features, natural plant or wildlife habitat boundaries, and flood plain characteristics could be considered.
  - (b) Requests to reduce buffer zones shall be considered if an appropriate professional (botanist, plant ecologist, wildlife biologist, or hydrologist), hired by the project applicant, (1) identifies the precise location of the rare wildlife/plant or water resource, describes the biology of the rare wildlife/plant or hydrologic condition of the water resource, and (3) demonstrates that the proposed use will not have any negative effects, either direct or indirect, on the affected wildlife/plant and their surrounding habitat that is vital to their long-term survival or to the water resource and its long-term function.
  - (c) The local government shall submit all requests to re-configure rare wildlife/plant or water resource buffers to the Forest Service and the appropriate state agencies for review. All written comments shall be included in the record of application and based on the comments from the state and federal agencies, the local government will make a final decision on whether the reduced buffer zone is justified. If the final decision contradicts the comments submitted by the federal and state agencies, the local government shall justify how it reached an opposing conclusion.

**Finding: The project is more than 500 feet away from the Columbia River, which is the only identified wildlife habitat in the vicinity of the proposed development. The**



**proposed development will take place within a previously developed area, and at a distance of 500 feet, will not have any effects to wildlife habitat in the Columbia River. Guideline is met.**

D. The local government, in consultation with the state and federal wildlife biologists and botanists, shall use the following criteria in reviewing and evaluating the site plan to ensure that the proposed development or uses do not compromise the integrity and function of or result in adverse effects to the wildlife and plant area or site:

- (1) Published guidelines regarding the protection and management of the affected wildlife/plant species. Examples include: the Oregon Department of Forestry management guidelines for osprey and great blue heron; Washington Department of Wildlife guidelines for a variety of species, including the western pond turtle, the peregrine falcon, and the Larch Mountain salamander.
- (2) Physical characteristics of the subject parcel and vicinity, including topography and vegetation.
- (3) Historic, current, and proposed uses in the vicinity of the rare wildlife/plant area or site.
- (4) Existing condition of the wildlife/plant area or site and the surrounding habitat of the area or site.
- (5) In areas of winter range, habitat components, such as forage and thermal cover, important to the viability of the wildlife must be maintained or, if impacts are to occur, enhancement must mitigate the impacts so as to maintain overall values and function of winter range.
- (6) The site plan is consistent with published guidance documents such as "Oregon Guidelines for Timing of In-Water Work to Protect Fish and Wildlife Resources" (Oregon Department of Fish and Wildlife 2008 or most recent version) and Washington's Aquatic Habitat Guidelines (2002 or most recent version).
- (7) The site plan activities coincide with periods when fish and wildlife are least sensitive to disturbance. These would include, among others, nesting and brooding periods (from nest building to fledgling of young) and those periods specified.
- (8) The site plan illustrates that new development and uses, including bridges, culverts, and utility corridors, shall not interfere with fish and wildlife passage.
- (9) Maintain, protect, and enhance the integrity and function of Priority Habitats as listed on the following Priority Habitats Table 1. This includes maintaining structural, species, and age diversity, maintaining connectivity within and between plant communities, and ensuring that cumulative impacts are considered in documenting integrity and function.

**Finding: The proposed development is within a Riparian Priority Habitat. However, the development will take place in a previously developed area and the CRGNSA Wildlife Biologist determined that the proposed development will not alter the condition of the land or cause effects to wildlife. Guideline is met.**



E. The wildlife/plant protection process may terminate if the local government, in consultation with the Forest Service and state wildlife agency or heritage program, determines (1) the rare wildlife area or site is not active, or (2) the proposed use is not within the buffer zones and would not compromise the integrity of the wildlife/plant area or site, or (3) the proposed use is within the buffer and could be easily moved out of the buffer by simply modifying the project proposal (site plan modifications). If the project applicant accepts these recommendations, the local government shall incorporate them into its development review order and the wildlife/plant protection process may conclude.

**Finding: The proposal meets the guideline because the project will have no effect to any habitat existing in the area. Review for protection of wildlife may conclude.**

#### 4. Soil Productivity

A. Soil productivity shall be protected using the following guidelines:

- (1) A description or illustration showing the mitigation measures to control soil erosion and stream sedimentation.
- (2) New developments and land uses shall control all soil movement within the area shown on the site plan.
- (3) The soil area disturbed by new development or land uses, except for new cultivation, shall not exceed 15 percent of the project area.
- (4) Within 1 year of project completion, 80 percent of the project area with surface disturbance shall be established with effective native ground cover species or other soil-stabilizing methods to prevent soil erosion until the area has 80 percent vegetative cover.

**Finding: An erosion control plan will be developed per the project design criteria and provided to the CRGNSA. Only previously disturbed areas are proposed for disturbance with the proposed project activities.**

#### Practicable Alternative Test

1. An alternative site for a proposed use shall be considered practicable if it is available and the proposed use can be undertaken on that site after taking into consideration cost, technology, logistics, and overall project purposes.

**Finding: The Practicable Alternative Test was not required. This section does not apply.**

#### Mitigation Plan

1. Mitigation Plans shall be prepared when:

- A. The proposed development or use is within a buffer zone (wetlands, ponds, lakes, riparian areas, or wildlife or plant areas or sites).
- B. There is no practicable alternative (see the “practicable alternative” test).

**Finding: A mitigation plan was not required. This section does not apply.**



## Recreation

### SMA Guidelines

1. New development and land uses shall not displace existing recreational use.

**Finding: The proposed development is an improvement on existing trailhead amenities and will enhance (not displace) existing recreational use and accessibility of the site. Guideline is met.**

2. Recreation resources shall be protected from adverse effects by evaluating new development and land uses as proposed in the site plan. An analysis of both onsite and offsite cumulative effects shall be required.

**Finding: Proposed development will improve existing recreational opportunities by improving accessibility. The proposed improvements replace existing infrastructure included a kiosk, restroom, and walkway between the restroom and parking area. No adverse effects will occur onsite or offsite, and as such no cumulative adverse effects will occur. Guideline is met.**

3. New pedestrian or equestrian trails shall not have motorized uses, except for emergency services.

**Finding: No new trails are proposed. This guideline does not apply.**

4. Mitigation measures shall be provided to preclude adverse effects on the recreation resource.

**Finding: The project will enhance recreation resources and improve the visitor amenities and setting while reducing deferred maintenance. No mitigation measures needed as no adverse effects anticipated. Guideline is met.**

5. The Facility Design Guidelines are intended to apply to individual recreation facilities. Development or improvements within the same Recreation Intensity Class are considered as separate facilities if they are separated by at least 1/4 mile of undeveloped land (excluding trails, pathways, or access roads).

**Finding: The proposed development is occurring within the existing recreation facility. The only applicable Facility Design Guidelines apply to retention of existing vegetation; no vegetation is being removed aside from invasive Himalayan Blackberry. Treated areas will be reseeded with native vegetation, consistent with the Facility Design Guidelines. This guideline is met.**

6. New development and reconstruction of scenic routes shall include provisions for bicycle lanes.

**Finding: No new development or reconstruction of scenic routes proposed. This guideline does not apply.**

7. A local government may grant a variance of up to 10 percent to the guidelines of Recreation Intensity Class 4 for parking and campground units upon demonstration that all of the following conditions exist:

A. Demand and use levels for the proposed activity(s), particularly in the area where the site is proposed, are high and expected to remain so or increase. Statewide Comprehensive Outdoor



Recreation Plan (SCORP) data and data from the National Visitor Use Monitoring Program shall be relied upon to meet the criterion in the absence of current applicable studies.

B. The proposed use is dependent on resources present at the site.

C. Reasonable alternative sites offering similar opportunities, including those in urban areas, have been evaluated, and it has been demonstrated that the proposed use cannot be adequately accommodated elsewhere.

D. The proposed use is consistent with the goals, objectives, and policies in this chapter.

E. Through site design and mitigation measures, the proposed use can be implemented without adversely affecting scenic, natural, or cultural resources and adjacent land uses.

F. Through site design and mitigation measures, the proposed use can be implemented without affecting or modifying treaty rights.

**Finding: The proposed development is within an area designated Recreation Intensity Class 2. This guideline does not apply.**

8. Proposals to change the Recreation Intensity Class of an area shall require a Management Plan amendment pursuant to policies 1 through 4 in "Amendment of the Management Plan" (Part IV, Chapter 1: Gorge Commission Role).

**Finding: There is no proposal to change the Recreation Intensity Class. This guideline does not apply.**

9. The Recreation Intensity Classes are designed to protect recreation resources by limiting land development and land uses.

#### Recreation Intensity Classes SMA Guidelines

**Finding: The proposed development is within an area designated Recreation Intensity Class 2. The proposed development is allowed in all Recreation Intensity Classes ("trails and trailheads," "interpretive displays," and "restrooms").**

##### 1. Recreation Intensity Class 1 (Very Low Intensity)

**Social Setting:** Visitors in this designation have a high chance of finding solitude and opportunities to experience activities that rely on self-reliance, challenge and risk. Encounters with other visitors is low throughout the designation. Perceived crowdedness is low to non-existent away from roads recreation sites. Visitor encounters and perceived crowdedness is low to moderate at or near (within 1 mile) roads and recreation sites.

**Physical and Managerial Setting:** Predominately natural/natural appearing landscapes with rustic improvements characterize this designation. Nodes of developed recreation facilities may be allowed. Developed recreation site regulations and controls (signing, regulations or other regimentation) are noticeable but harmonize with the natural characteristics of the landscape setting. Away from developed recreation sites there is minimal or subtle control of users. Trail development is simple and typically accommodate low use levels. Users are highly skilled with a high degree of orienteering skills.

A. The maximum design capacity for parking areas shall be 10 vehicles.





B. The following uses may be permitted:

- (1) Trails and trailheads.
- (2) Parking areas.
- (3) Dispersed campsites accessible only by a trail.
- (4) Viewpoints and overlooks.
- (5) Picnic areas.
- (6) Signs.
- (7) Interpretive exhibits and displays.
- (8) Restrooms.
- (9) Accommodations for mass transportation facilities should be considered where compatible with the social and physical settings.

## 2. Recreation Intensity Class 2 (Low Intensity)

**Social Setting:** RIC 2 is characterized by opportunities to experience relaxation, physical fitness and outdoor learning and where there is a moderate probability to experience solitude. Visitor encounters are low to moderate on trails and away from developed recreation sites and roads. Usually and moderate to high near (within 1 mile) recreation sites and roads.

**Physical and Managerial Setting:** Predominately natural/natural appearing landscapes with rustic improvements characterize this designation. Nodes of highly developed recreation facilities may be allowed. Developed recreation site regulations and controls (signing, regulations or other regimentation) harmonize with the natural characteristics of the landscape setting. Away from developed recreation sites there is minimal or subtle control of users. Trails are moderately developed (native surface or gravel, trail bridges and other facilities are provided for user convenience). Trail use is typically low to moderate. Trails are suitable for a wide range of users and are challenging and involve intermediate to advance skills. The following uses may be permitted.

A. The maximum design capacity for parking areas shall be 25 vehicles. All uses permitted in Recreation Intensity Class 1 are permitted in Recreation Intensity Class 2. The following uses may also be permitted:

- (1) Campgrounds for twenty (20) units or less, tent sites only.
- (2) Boat anchorages designed for no more than 10 boats at one time.
- (3) Swimming areas.
- (4) Accommodations for mass transportation facilities should be considered where compatible with the social and physical settings.

**Finding: The proposed replacement restroom, new kiosk, new fee collection box, and accessibility improvements to an existing trail. These developments are allowable uses within Recreation Intensity Class 2.**



## Conclusion

The proposed developments are consistent with the National Scenic Area Management Plan Policy and Guidelines provided they meet the criteria and conditions listed in the Findings of Fact and Consistency Determination.



In accordance with Federal civil rights law and U.S. Department of Agriculture (USDA) civil rights regulations and policies, the USDA, its Agencies, offices, and employees, and institutions participating in or administering USDA programs are prohibited from discriminating based on race, color, national origin, religion, sex, gender identity (including gender expression), sexual orientation, disability, age, marital status, family/parental status, income derived from a public assistance program, political beliefs, or reprisal or retaliation for prior civil rights activity, in any program or activity conducted or funded by USDA (not all bases apply to all programs). Remedies and complaint filing deadlines vary by program or incident.

Persons with disabilities who require alternative means of communication for program information (e.g., Braille, large print, audiotape, American Sign Language, etc.) should contact the responsible Agency or USDA's TARGET Center at (202) 720-2600 (voice and TTY) or contact USDA through the Federal Relay Service at (800) 877-8339. Additionally, program information may be made available in languages other than English.

To file a program discrimination complaint, complete the USDA Program Discrimination Complaint Form, AD-3027, found online at [How to File a Program Discrimination Complaint](#) and at any USDA office or write a letter addressed to USDA and provide in the letter all of the information requested in the form. To request a copy of the complaint form, call (866) 632-9992. Submit your completed form or letter to USDA by: (1) mail: U.S. Department of Agriculture, Office of the Assistant Secretary for Civil Rights, 1400 Independence Avenue, SW, Washington, D.C. 20250-9410; (2) fax: (202) 690-7442; or (3) email: [program.intake@usda.gov](mailto:program.intake@usda.gov).

USDA is an equal opportunity provider, employer, and lender.